

**SANTA MONICA MOUNTAINS CONSERVANCY
GRANT APPLICATION**

Project Name: Growing Works	Amount of Request: \$268,800 Total Project Cost: \$655,935 Matching Funds: \$387,135 Lat/Long: 34.185011/-119.034827																		
Applicant Name: Turning Point Foundation	Project Address: <table border="1" style="width:100%; border-collapse: collapse; margin-top: 5px;"> <tr> <td style="width:33%; text-align: center;">County</td> <td style="width:33%; text-align: center;">Senate District</td> <td style="width:33%; text-align: center;">Assembly District</td> </tr> <tr> <td style="text-align: center;">Ventura</td> <td style="text-align: center;">36</td> <td style="text-align: center;">33</td> </tr> </table>	County	Senate District	Assembly District	Ventura	36	33												
County	Senate District	Assembly District																	
Ventura	36	33																	
Applicant Address: 557 E. Thompson Blvd Ventura, CA 93001 Phone: 805-947-5400 Email: info@tpf-vc.org	Tax ID: 77-0213467																		
Grantee's Authorized Representative:																			
Jason Meek, Executive Director <i>Name and Title</i>	805-947-5400 <i>Phone</i>																		
Overhead Allocation Notice: ✓ Any overhead costs will be identified as a separate line item in the budget and invoices. ✓ The Conservancy encourages grantees to reduce overhead costs including vehicle and phone expenses. ✓ The overhead allocation policy has been submitted prior to, or with, the grant application.																			
Outreach and Advertising Requirement: ✓ Applicant has read the staff report and board resolution regarding contract policies. ✓ Applicant has adopted contract policies for the purpose of increasing outreach and advertising to disadvantaged businesses and individuals. <i>All check boxes must be checked</i>																			
Brief Project Description: Growing Works is an innovative, multi-beneficial, nonprofit wholesale native and other drought tolerant plant nursery providing job training and therapy programs to a socioeconomically disadvantaged segment of our community. The project addresses the urgent needs of climate change, drought, homelessness and people with mental illnesses. See attached.																			
Tasks / Milestones: Design and permits & Admin Install Rainwater Harvesting Install Water Treatment Systems Install Solar Panel Construct Demonstration Garden	<table style="width:100%;"> <tr> <td style="width:45%;">Budget:</td> <td style="width:10%;"></td> <td style="width:45%;">Completion Date</td> </tr> <tr> <td>\$38,800</td> <td></td> <td>Feb 2019</td> </tr> <tr> <td>\$20,000</td> <td></td> <td>Dec 2018</td> </tr> <tr> <td>\$90,000</td> <td></td> <td>Jan 2019</td> </tr> <tr> <td>\$65,000</td> <td></td> <td>Dec 2018</td> </tr> <tr> <td>\$55,000</td> <td></td> <td>Feb 2019</td> </tr> </table>	Budget:		Completion Date	\$38,800		Feb 2019	\$20,000		Dec 2018	\$90,000		Jan 2019	\$65,000		Dec 2018	\$55,000		Feb 2019
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\$20,000		Dec 2018																	
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\$65,000		Dec 2018																	
\$55,000		Feb 2019																	
For Acquisition Projects:	APN(s): N/A Acreage: N/A																		
I certify that the information contained in this Grant Application form, including required attachments, is accurate.																			
_____ Signature of Authorized Representative	8/27/2018 _____ Date																		

Turning Point Foundation
 Proposition One Grant Application to SMMC
 Growing Works Project
 Scope of Work, Budget and Timeline
 26-Aug-18

Category	Task	Description	Unit	Cost	Timeline -days from Notification to Proceed to completion
Design and Engineering	Create designs and plans, process permits	Water system design, distribution plans, garden interpretive design, permit for solar panel system		\$ 10,000.00	60 days
Construction	Install Rainwater Harvesting System	Above-ground cisterns, pumps and piping to harvest rainwater from 6,000 sq.ft.roof. Captured water would be used to irrigate nursery plants.		\$ 20,000.00	90 days
	Install Reclaimed Water Treatment System	Treatment of Camrosa reclaimed water, distribution piping throughout nursery and interpretive garden.		\$ 30,000.00	90 days
	Install Reverse Osmosis Water Treatment System	Treatment of reclaimed water for blending with treated reclaimed water, distribution piping		\$ 60,000.00	120 days
	Install Solar Panel System	Renewable green energy source for water treatment systems and nursery operations		\$ 65,000.00	90 days
	Construct a public Native & Drought Tolerant Plant Interpretive Demonstration Garden	Interpretive demonstration garden to show people what they can do in their own backyards, teaching tool for students and program participants to learn about native and other drought tolerant plants and their maintenance. Interpretive panels and gathering areas, including picnic tables		\$ 55,000.00	150 days
	Subtotal			\$ 240,000.00	
Administration	Project Management, Grant Admin		12%	\$ 28,800.00	
	TOTAL GRANT REQUEST			\$ 268,800.00	

County of Ventura - Growing Works Nursery STORAGE BUILDING REHABILITATION

1732 South Lewis Road
Camarillo, California 93012

ANDERSON KULWIEC APPLEBY ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

David Anderson A.I.A., Architect
Marilyn Appleby A.I.A., Architect
854 East Main Street, Suite 100
Santa Paula, California 93060
(805) 933-0225
(805) 933-6609 FAX

Consultants:

Architect's Project Number:
2018-108

GSA Program Number:
RQM18024

Project:

County of Ventura -
Growing Works Nursery
**STORAGE BUILDING
REHABILITATION**

1732 South Lewis Road
Camarillo, California 93012

Owner:
**COUNTY OF VENTURA
GSA PROJECTS GROUP**

800 South Victoria Avenue
Ventura, California 93009

OWNER

COUNTY OF VENTURA
GSA PROJECTS GROUP
800 SOUTH VICTORIA AVENUE
VENTURA, CALIFORNIA

ATTN: TERRANCE GREENLAW
805-654-3786

PROJECT IDENTIFICATION

PROJECT ADDRESS: 1732 SOUTH LEWIS ROAD
CAMARILLO, CALIFORNIA 93012

ASSESSOR'S PARCEL NO.: 234-0-050-340

ZONE: COUNTY OF VENTURA
RPD (RESIDENTIAL PLANNED DEVELOPMENT)
EXISTING COMMUNITY

BUILDING DESCRIPTION: REHABILITATION OF EXISTING 6,470 SF 1-STORY
PRE-ENGINEERED METAL STORAGE BUILDING

NEW OCCUPANT: GROWING WORKS NURSERY

PROJECT TEAM

ARCHITECT: **ANDERSON KULWIEC APPLEBY ARCHITECTS**
854 EAST MAIN STREET, SUITE 100
SANTA PAULA, CALIFORNIA 93060

ATTN: DAVE ANDERSON, AIA
805-933-0225

STRUCTURAL ENGINEER: **RGSE INC.**
2720 COCHRAN ST, SUITE 8B
SIMI VALLEY, CALIFORNIA 93065

ATTN: RAMON GARCIA
(805) 522-3379

MECHANICAL ENGINEER: **AE GROUP MECHANICAL ENGINEERS, INC.**
838 EAST FRONT STREET
VENTURA, CALIFORNIA 93001

ATTN: PHIL WHITE
805-653-1722

ELECTRICAL ENGINEER: **ALAN NOELLE ENGINEERING**
1616 ANACAPA STREET
SANTA BARBARA, CALIFORNIA 93101

ATTN: ALAN J. NOELLE, PE
805-563-5444

LIST OF DRAWINGS

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S1.0	STRUCTURAL GENERAL NOTES & ROOF FRAMING PLAN
MECHANICAL	
M-101	MECHANICAL
ELECTRICAL	
E-101	ELECTRICAL

Date	Description

Num	Date	Description

ISSUE RECORD

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Sheet Title:

TITLE SHEET

Date: 29 May 2018

Sheet Number:

A-001

PRELIMINARY

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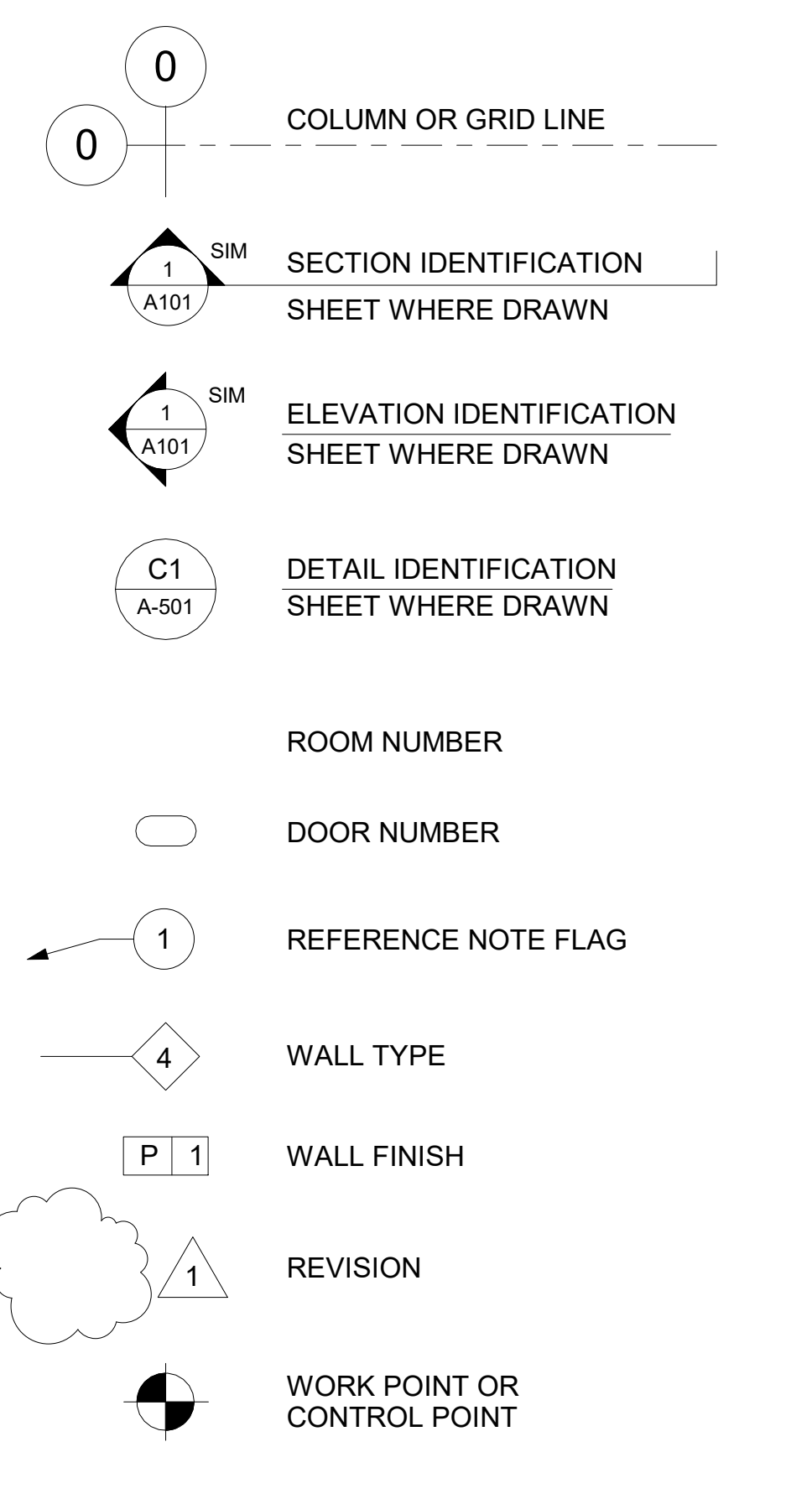
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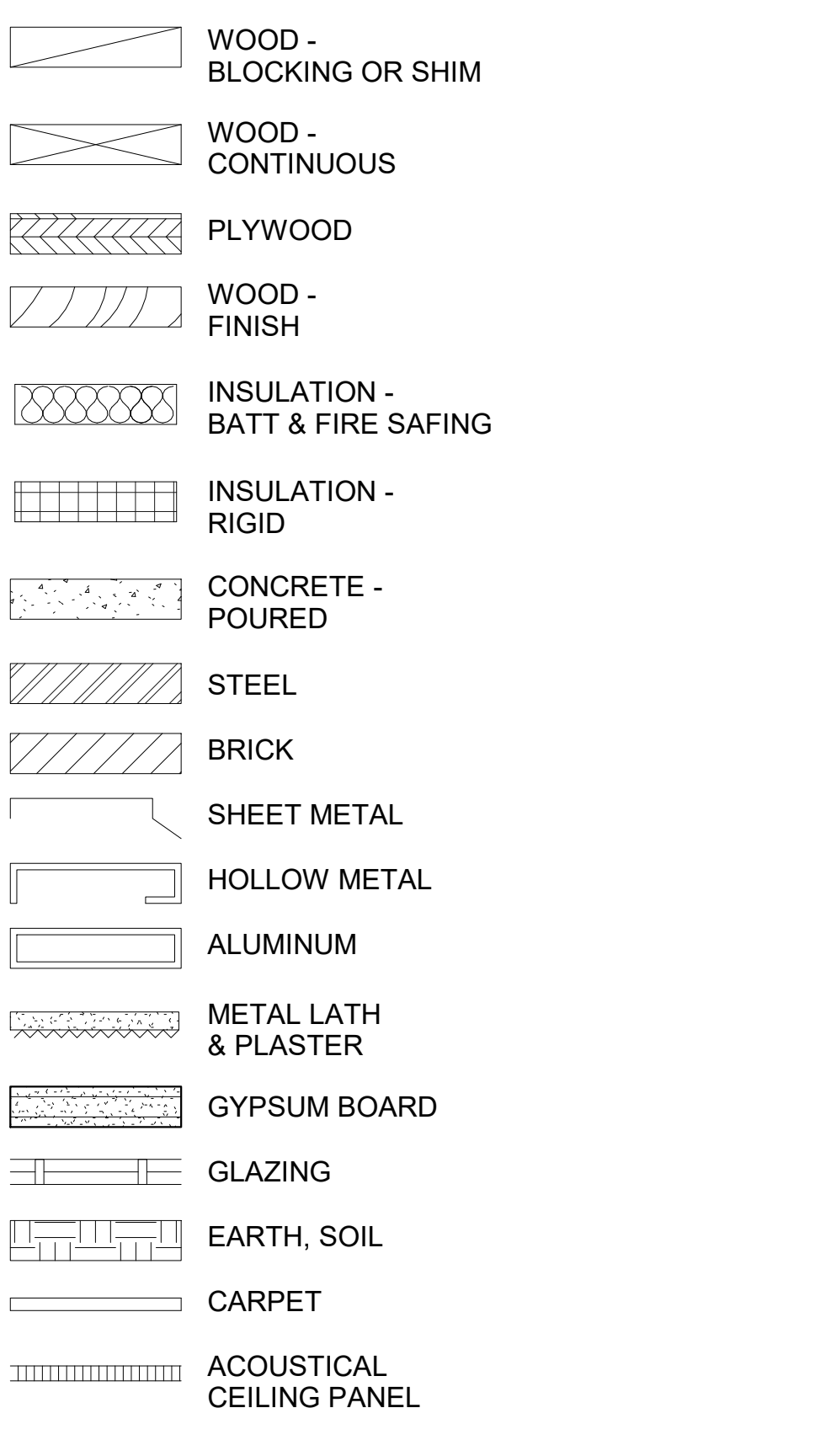
ABBREVIATIONS:

& L C D ±	AND ANGLE CENTERLINE PENNY PLUS OR MINUS	MAS MAX MECH MEMB MEZZ MFD MFG MFR MIN MIRR MISC MTD MTL MULL	MASONRY MAXIMUM MECHANICAL MEMBRANE MEZZANINE MANUFACTURED MANUFACTURING MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MOUNTED METAL MULLION
AB AC A/C ACOUS AD ADJ AFF ALT ALUM ANOD	ANCHOR BOLT ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL AREA DRAIN ADJACENT ABOVE FINISH FLOOR ALTERNATE ALUMINUM ANODIZED	NIC NO NOM NTS	NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
BD BLDG BLK BLKG BOT	BOARD BUILDING BLOCK BLOCKING BOTTOM	O/ OBS OC OD OH OPNG OPP	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OVERHEAD OPENING OPPOSITE
CAB CB CEM CER CI CJ CL CLG CLR CMU CO COL CONC CONN CONST CONT CPT CSK CT CTB CTR CW	CABINET CATCH BASIN CEMENT CERAMIC CAST IRON CONTROL JOINT CHAIN LINK CEILING CLEAR CONCRETE MASONRY UNIT CLEANOUT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CARPET COUNTERSUNK CERAMIC TILE CERAMIC TILE BASE COLD WATER	PH PL PLAM PLAS PLMB G PLYW D POC PR PT PTN PVC PWR QT	PANIC HARDWARE PROPERTY LINE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD POINT OF CONNECTION PAIR PRESSURE-TREATED PARTITION POLYVINYL CHLORIDE POWER QUARRY TILE
DBL DEMO DET DF DIAG DIA DIM DISP DN DR DS DWG	DOUBLE DEMOLITION DETAIL DRINKING FOUNTAIN DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DOOR DOWNSPOUT DRAWING	R RD REF REINF REQD RESIL RM RO ROW RS	RISER/RADIUS ROOF DRAIN REFERENCE REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING ROUGH SAWN/RESAWN
EA EJ ELEC EL ENCL EQ EQUIP EW EXP EXIST EXT	EACH EXPANSION JOINT ELECTRICAL ELEVATION ENCLOSURE EQUIPMENT EACH WAY EXPANSION EXISTING EXTERIOR	S SCHD SD SECT SH SHR SHT SHTHG SIM SMS SPEC SQ SST SSK STA STD STL STOR STRUCT SUSP SYM	SOLID CORE SCHEDULE STORM DRAIN SECTION SHELF/SHELVING SHOWER SHEET SHEATHING SIMILAR SHEET METAL SCREW SPECIFICATION(S) SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMBOL
FD FDTN FG FH FIN FL FLR FLUOR FOC FOM FOS FT FTG FURG	FLOOR DRAIN FOUNDATION FIXED GLASS FIRE HYDRANT FINISH FLOOR LINE FLUORESCENT FACE OF CONCRETE/CURB FACE OF MASONRY FACE OF STUDS/SLAB FOOT/FEET FOOTING FURRING	T T&B TEL TEMP T&G THK TJ TMPD TOB TOC TOLDGR TOP TOSHTHG TOS TOW TYP	TREAD TOP & BOTTOM TELEPHONE TEMPORARY TONGUE & GROOVE THICK TOOL JOINT TEMPERED TOP OF BEAM TOP OF CURB TOP OF LEDGER TOP OF PAVEMENT TOP OF SHEATHING TOP OF SLAB/STEEL TOP OF WALL TYPICAL
GA GALV GB GL GLU LAM GND GR LN GYP	GAGE/GAUGE GALVANIZED GRAB BAR GLASS GLUE-LAMINATED GROUND GRADE LINE GYPSUM	U/ UGND UNFIN UNO UP UR	UNDER UNDERGROUND UNFINISHED UNLESS NOTED OTHERWISE UTILITY POLE URINAL
HB HCP HC HDR HDW HDWR HM HORIZ HR HT HTR HW	HOSE BIBB HANDICAPPED HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT HEATER HOT WATER	VCT VERT VEST VR VWC	VINYL COMPOSITION TILE VERTICAL VESTIBULE VAPOR RETARDANT VINYL WALL COVERING
ID IN INCAND INCL INSUL INT	INSIDE DIMENSION INCH/INCHES INCANDESCENT INCLUDE INSULATION INTERIOR	W WITH WC WD WDS WDW WGL WH WIC	WIDE/WIDTH WITH WATER CLOSET WOOD WOOD SCREW WINDOW WIRED GLASS WATER HEATER WOODWORK INSTITUTE OF CALIFORNIA
JAN JST JT	JANITOR JOIST JOINT	W/O WP WSCOT WT WWF	WITHOUT WATERPROOF WAINSCOT WEIGHT WELDED WIRE FABRIC
LAM LAV LB LIN LOC LT LT WT	LAMINATE LAVATORY LAG BOLT LINEAR LOCATION LIGHT LIGHTWEIGHT	YD	YARD DRAIN/YARD

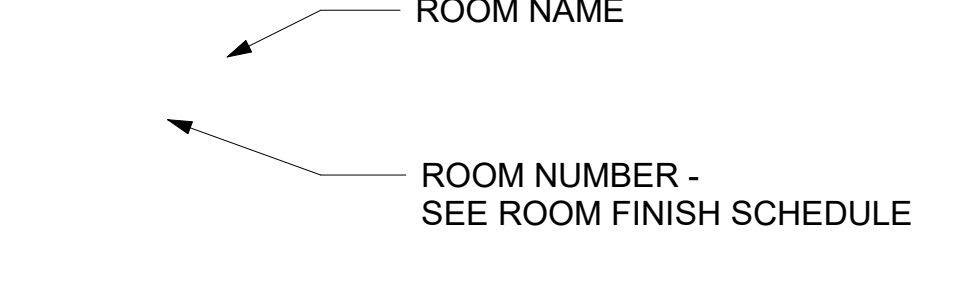
SYMBOLS



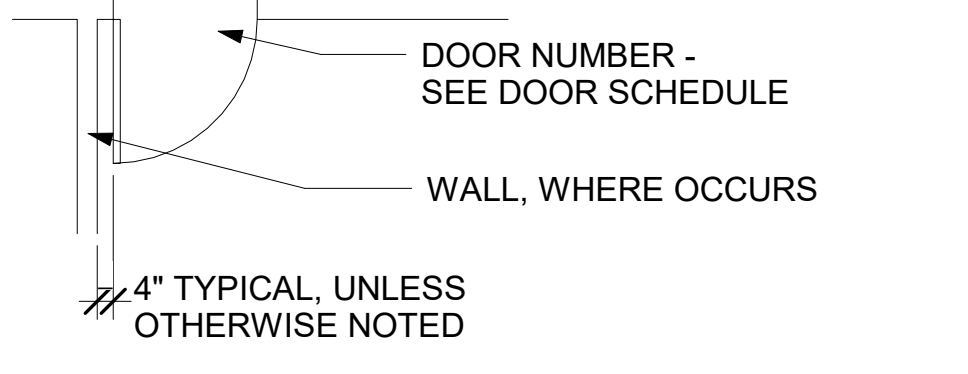
MATERIAL IDENTIFICATION



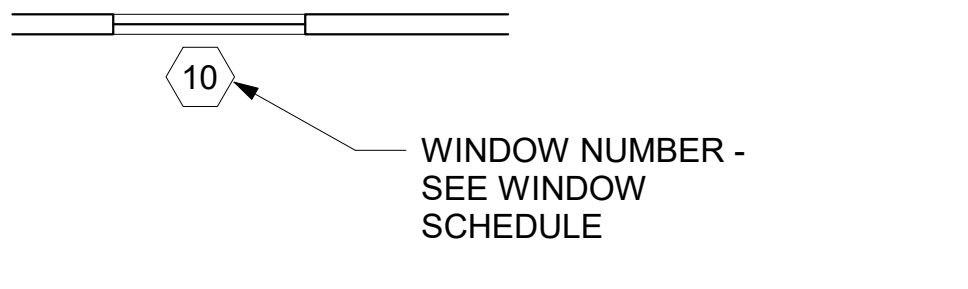
ROOM IDENTIFICATION



DOOR IDENTIFICATION



WINDOW IDENTIFICATION



APPLICABLE CODES

GOVERNING AGENCY:	COUNTY OF VENTURA, CALIFORNIA
BUILDING CODES:	CALIFORNIA BUILDING CODE 2016 EDITION
FIRE CODE:	CALIFORNIA FIRE CODE 2016 EDITION
MECHANICAL CODE:	CALIFORNIA MECHANICAL CODE, 2016 EDITION
PLUMBING CODE:	CALIFORNIA PLUMBING CODE, 2016 EDITION
ELECTRICAL CODE:	CALIFORNIA ELECTRICAL CODE, 2016 EDITION
ACCESSIBILITY:	CALIFORNIA TITLE 24, AMERICANS WITH DISABILITIES ACT

BUILDING CODE CLASSIFICATION

CONSTRUCTION TYPE:

V-B (NON-SPRINKLERED)

OCCUPANCY CLASS:

EXISTING:			
MAIN:	S-1 (STORAGE - MODERATE HAZARD)	6,033 SF	86%
ACCESSORY:	B (OFFICE)	437 SF	7%
TOTAL:		6,470 SF	100%
PROPOSED:			
S-1 (STORAGE - MODERATE HAZARD)		5,550 SF	86%
B (OFFICE)		920 SF	14%
TOTAL:		6,470 SF	100%

BUILDING AREA

NO. OF STORIES - ALLOWED:	1
NO. OF STORIES - ACTUAL:	1
ALLOWABLE BUILDING AREA:	9,000 SF
ACTUAL BUILDING AREA:	6,470 SF

OCCUPANCY LOAD

USE	OCCUP. LOAD FACTOR	SF	OCCUP. LOAD
STORAGE:	500	5,550 SF	12 OCC.
OFFICES:	100	437 SF	5 OCC.
TOTAL OCCUPANCY LOAD:		5,987 SF	17 OCC.

ACTUAL OCCUPANTS:

MANAGERS:	3
EMPLOYEE / TRAINEES - FULL-TIME :	2
PART-TIME:	10
TOTAL OCCUPANTS:	15

GENERAL NOTES

- A. ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY, AND STATE CODES, LOCAL REGULATIONS AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS. REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE CONSTRUCTION DOCUMENTS, EXCEPT WHERE EXCEEDED HEREIN.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE. DISCREPANCIES AND/OR VARIATIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT. CONTRACTOR WILL ASSUME ALL RESPONSIBILITY OF CONSTRUCTION IF ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.
- C. ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATIONS OF PLANS SHALL BE REFERRED BY THE CONTRACTOR TO THE ARCHITECT, IN THE EVENT SUCH MATTERS ARE NOT ADEQUATELY COVERED IN THE CONSTRUCTION DOCUMENTS.
- D. NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED.
- E. EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT.
- F. EXTERIOR EXIT DOORS SHALL NOT HAVE FLUSH BOLTS OR SURFACE BOLTS.
- G. HEIGHT OF THRESHOLDS AT EXIT DOORS SHALL BE 1/2" MAXIMUM, WITH A 1/4" MAXIMUM VERTICAL RISE.
- H. GLASS DOORS AND ADJACENT PANELS SHALL BE TEMPERED GLASS.
- I. GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOORS, WITHIN 24" OF DOORS, AND AT SHOWERS, SHALL BE TEMPERED GLASS.

BUILDING DEPT. NOTES

- A. THESE DRAWINGS CALL OUT NOTATIONS BY REFERENCE NUMBERS. CAREFULLY CHECK NOTES AGAINST CALL-OUTS ON DRAWINGS. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECTS BEFORE PROCEEDING WITH WORK.
- B. DO NOT SCALE DRAWINGS
- C. SEPARATE PERMITS WILL BE REQUIRED FOR PLUMBING, MECHANICAL, AND ELECTRICAL WORK AS APPLICABLE.
- D. A SEPARATE PERMIT IS REQUIRED FOR RETAINING WALLS AND FENCES, TRASH ENCLOSURES, SIGNS, AND SHALL BE OBTAINED FROM THE INSPECTION SERVICES DIVISION PRIOR TO INSTALLATION.
- E. ADDRESSES SHALL BE LOCATED AS SUCH TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SECTION 502. ADDRESS NUMBERS SHALL BE MINIMUM 4" IN HEIGHT AND OF CONTRASTING COLOR TO THEIR BACKGROUND.
- F. MATERIAL AND EQUIPMENT NECESSARY FOR WORK SHALL NOT BE PLACED OR STORED ON PUBLIC PROPERTY SO AS TO OBSTRUCT FREE AND CONVENIENT APPROACH TO AND USE OF ANY FIRE HYDRANT, FIRE OR POLICE ALARM BOX, UTILITY BOX, CATCH BASIN OR MANHOLE OR SO TO INTERFERE WITH THE FREE FLOW OF WATER IN STREET OR ALLEY GUTTER.

FIRE DEPARTMENT NOTES

- A. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED FOR THIS STRUCTURE. FIRE EXTINGUISHER SIZE AND LOCATIONS TO BE DETERMINED BY THE FIRE DEPARTMENT.
- B. HEIGHT OF STORED MATERIAL IS LIMITED TO 12' MAXIMUM (6' FOR FIRES AND FLAMMABLE LIQUIDS). IF MATERIAL IS STORED HIGHER THAN 12' IT IS CONSIDERED HIGH PILED STOCK PER THE UNIFORM FIRE CODE.
- C. INSPECTION FOR COMPLIANCE WITH THESE CONDITIONS AND GENERAL FIRE SAFETY WILL BE REQUIRED PRIOR TO OCCUPANCY.
- D. A PERMIT FROM THE FIRE DEPARTMENT SHALL BE OBTAINED PRIOR TO THE STORAGE/HANDLING OF HAZARDOUS MATERIALS ON SITE. HAZARDOUS MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING CLASSES: EXPLOSIVES, FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE SOLIDS, OXIDIZERS, FLAMMABLE AND NON-FLAMMABLE GASES, POISONS, CORROSIVES, HAZARDOUS WASTES, AND OTHER REGULATED MATERIALS.

ANDERSON KULWIEC APPELBY ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN

David Anderson A.I.A., Architect
Marilyn Appleby A.I.A., Architect
854 East Main Street, Suite 100
Santa Paula, California 93060
(805) 933-0225
(805) 933-6609 FAX

Consultants:

Architect's Project Number:
2018-108

GSA Program Number:
RQM18024

Project:

County of Ventura - Growing Works Nursery STORAGE BUILDING REHABILITATION

1732 South Lewis Road
Camarillo, California 93012

Owner:
**COUNTY OF VENTURA
GSA PROJECTS GROUP**

800 South Victoria Avenue
Ventura, California 93009

Date	Description

Num	Date	Description

GENERAL NOTES

Date: **29 May 2018**

Sheet Number:
A-002

PRELIMINARY

ANDERSON KULWIEC APPLEBY ARCHITECTS

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REVISIONS		

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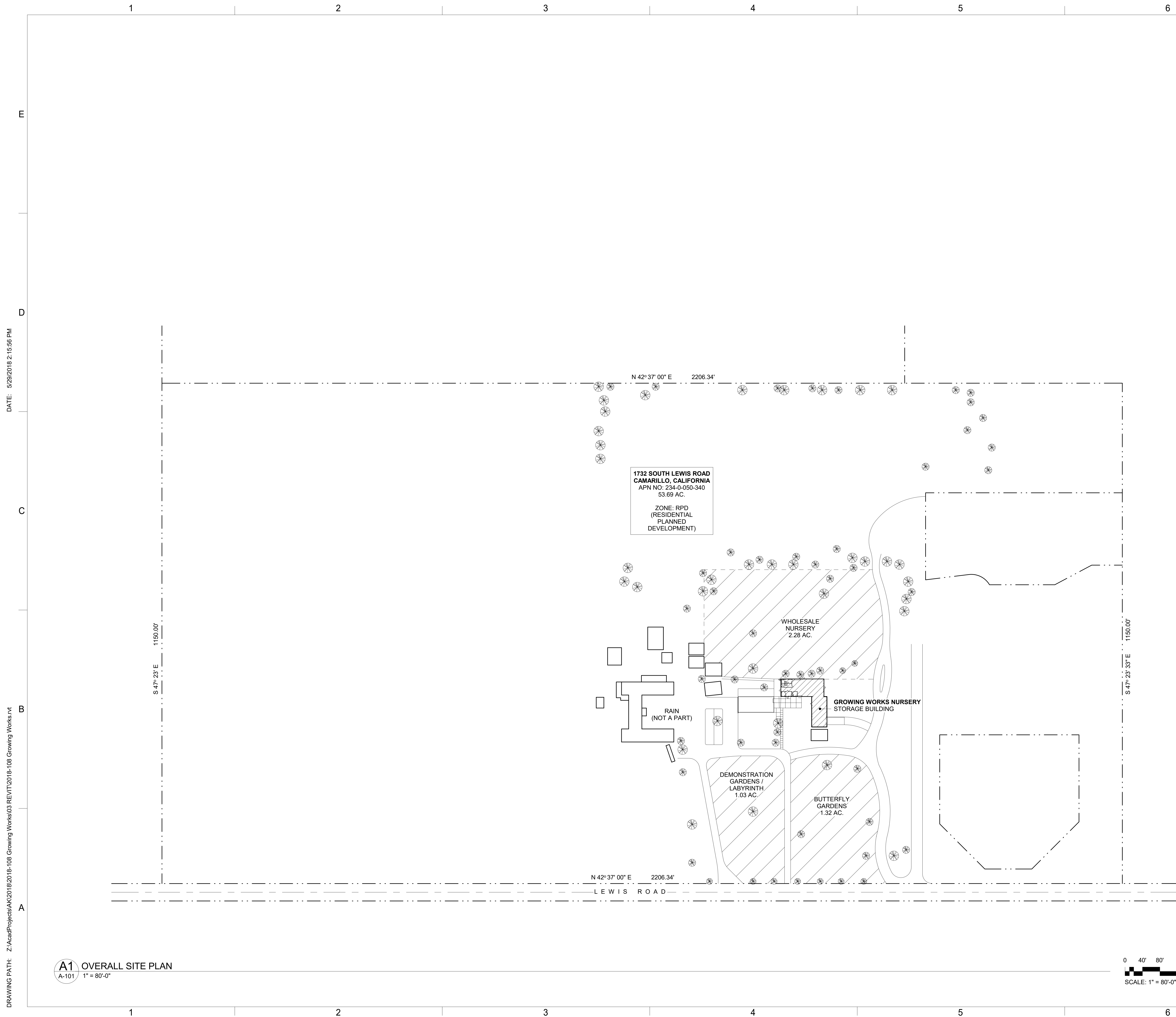
OVERALL SITE PLAN

Date: **29 May 2018**

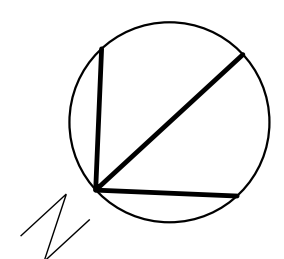
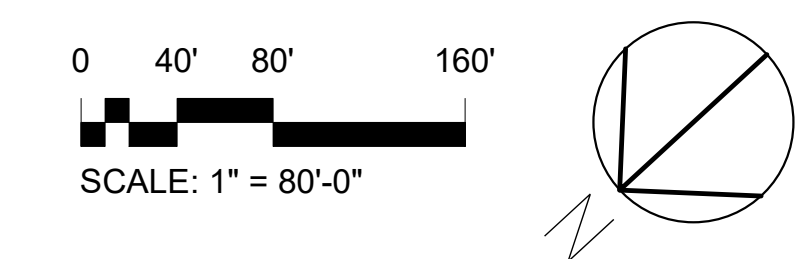
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PRELIMINARY



A1 OVERALL SITE PLAN
A-101 1" = 80'-0"



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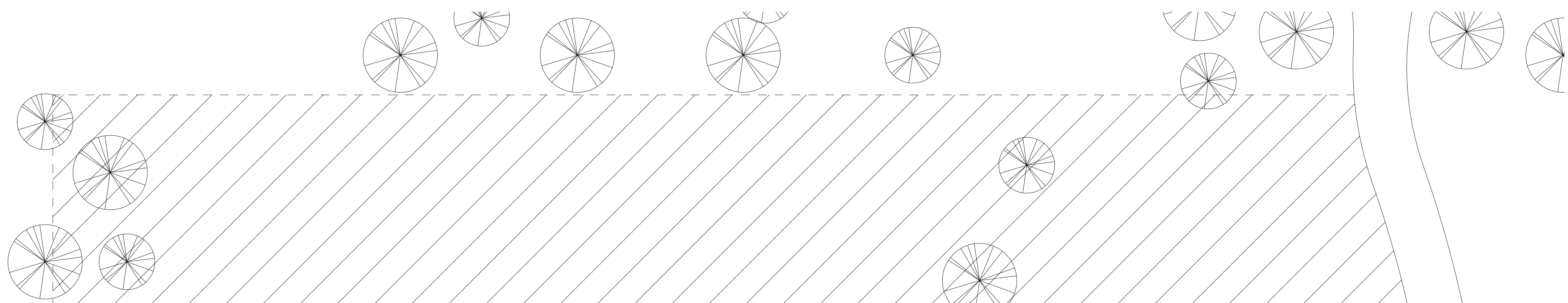
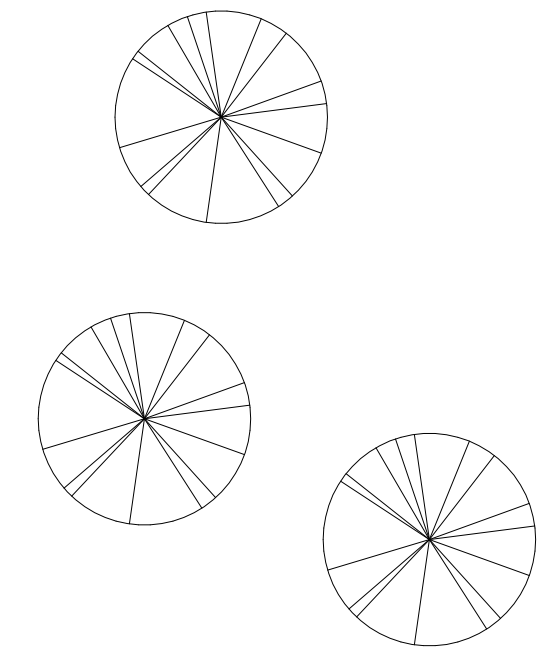
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6



ANDERSON KULWIEC APPELBY ARCHITECTS

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AERIAL PHOTO

Date: **29 May 2018**
Sheet Number:

A-102

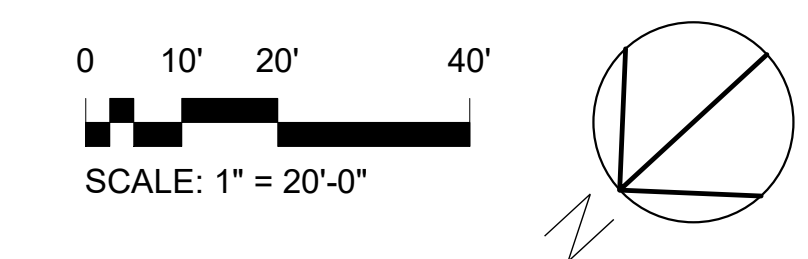
PRELIMINARY

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A1 AERIAL PHOTO
A-102 1" = 20'-0"



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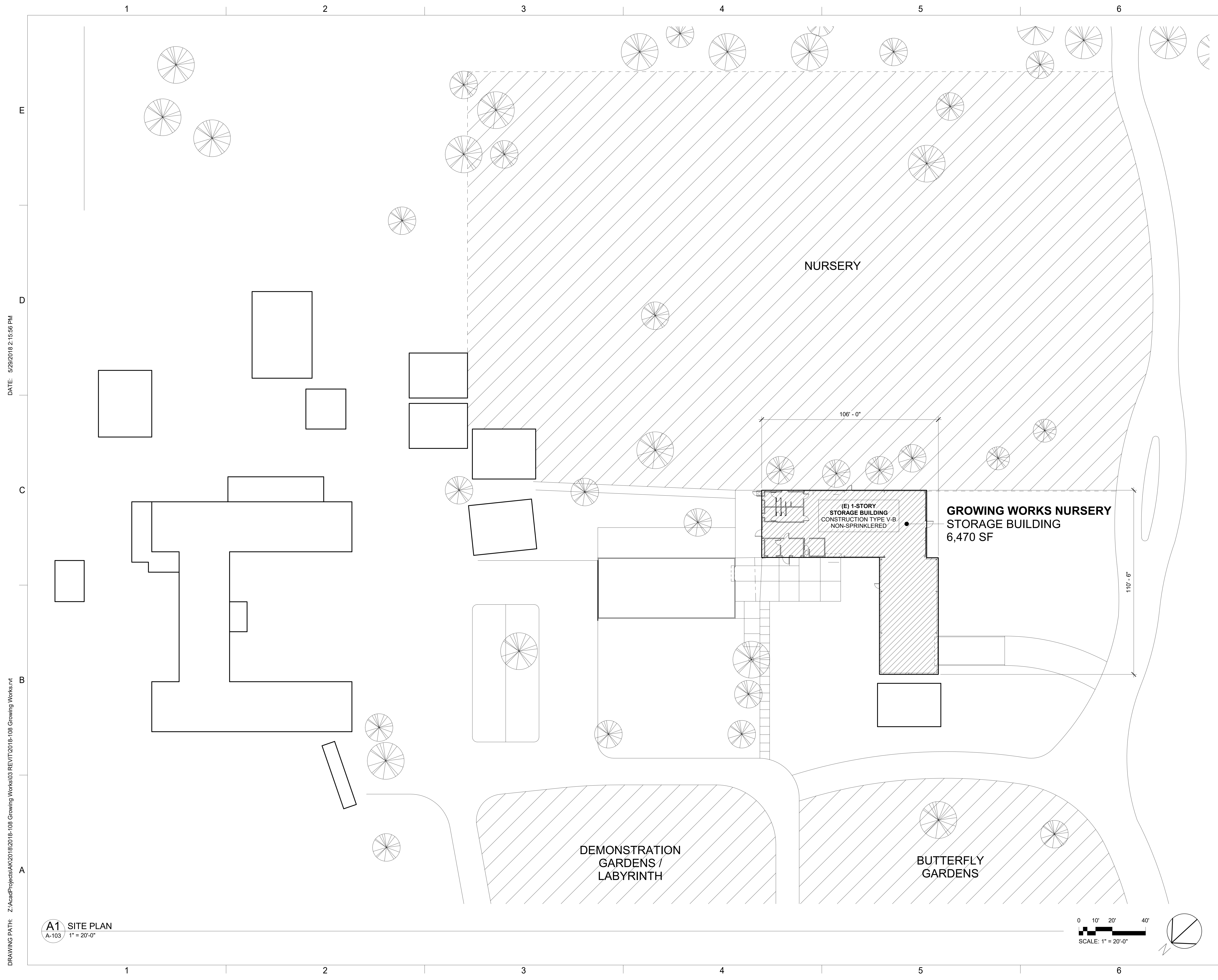
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**ANDERSON
KULWIEC
APPLEBY
ARCHITECTS**

ARCHITECTURE
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E
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Architect's Project Number:
2018-108
GSA Program Number:
RQM18024
Project:

**County of Ventura -
Storage Works Nursery
STORAGE BUILDING
REHABILITATION**

1732 South Lewis Road
Camarillo, California 93012

Owner:
**COUNTY OF VENTURA
GSA PROJECTS GROUP**

800 South Victoria Avenue
Ventura, California 93009

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Checked by: _____ Checker

CAD File Name: _____

Sheet Title:
SITE PLAN

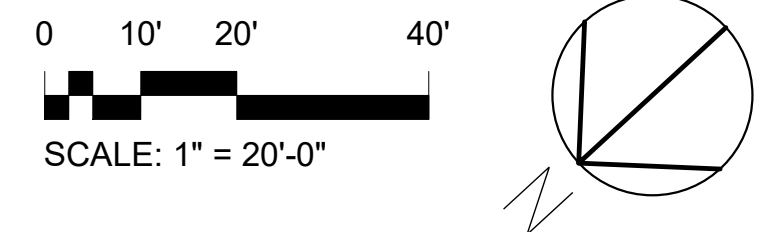
Date: **29 May 2018**
Sheet Number:

A-103
PRELIMINARY

DATE: 5/29/2018 2:15:56 PM

DRAWING PATH: Z:\Acad\Projects\AK\2018\2018-108 Growing Works\03 REV\VT2018-108 Growing Works.rvt

A1 SITE PLAN
A-103 1" = 20'-0"



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Architect's Project Number:
2018-108

GSA Program Number:
RQM18024

Project:

County of Ventura - Growing Works Nursery STORAGE BUILDING REHABILITATION

1732 South Lewis Road
Camarillo, California 93012

Owner:
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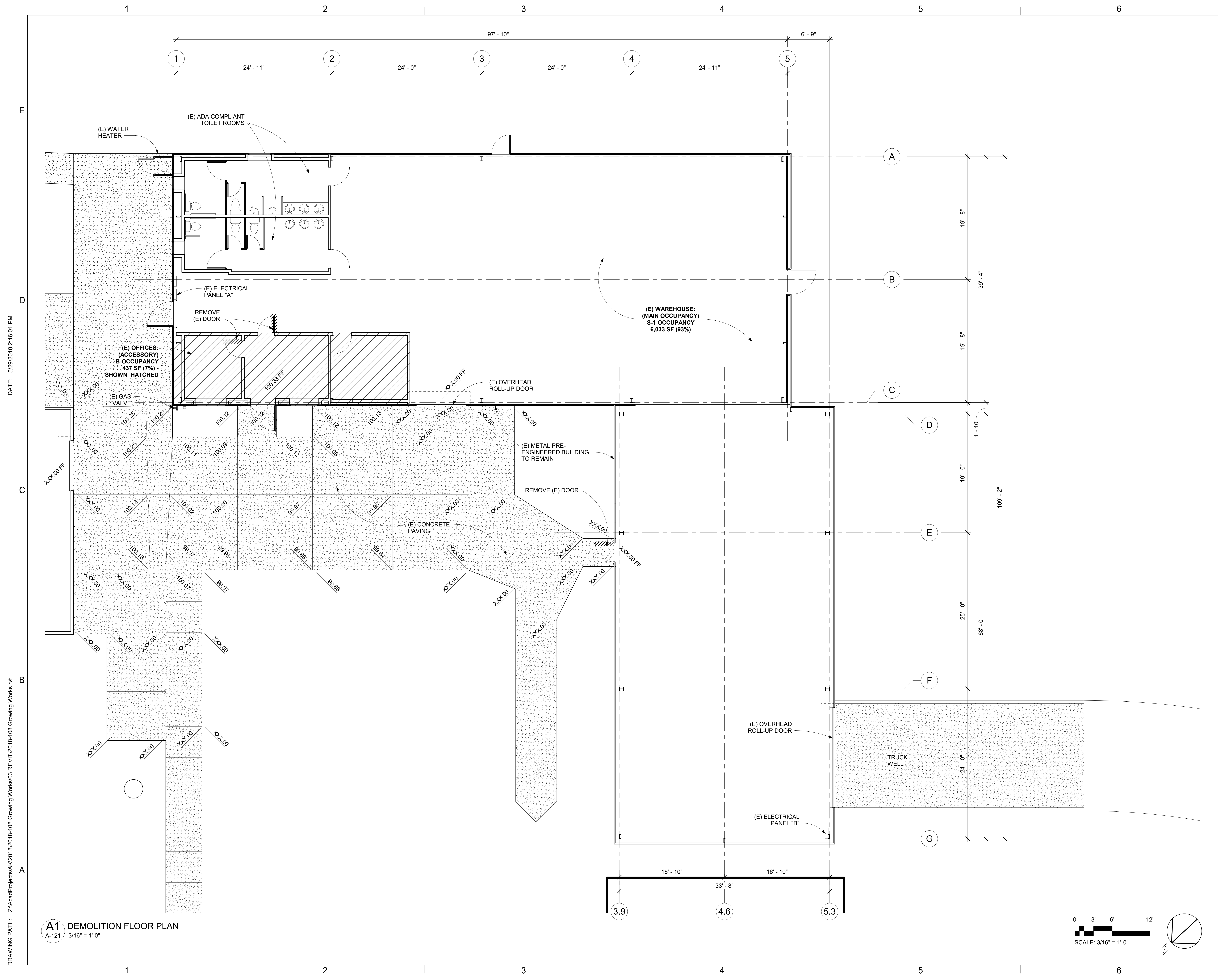
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CAD File Name: _____

Sheet Title: DEMOLITION FLOOR PLAN

Date: **29 May 2018**
Sheet Number:

A-121

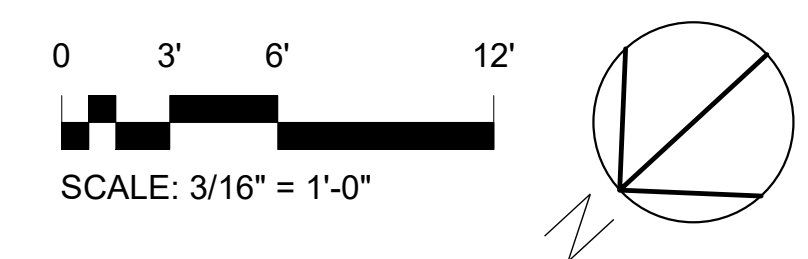
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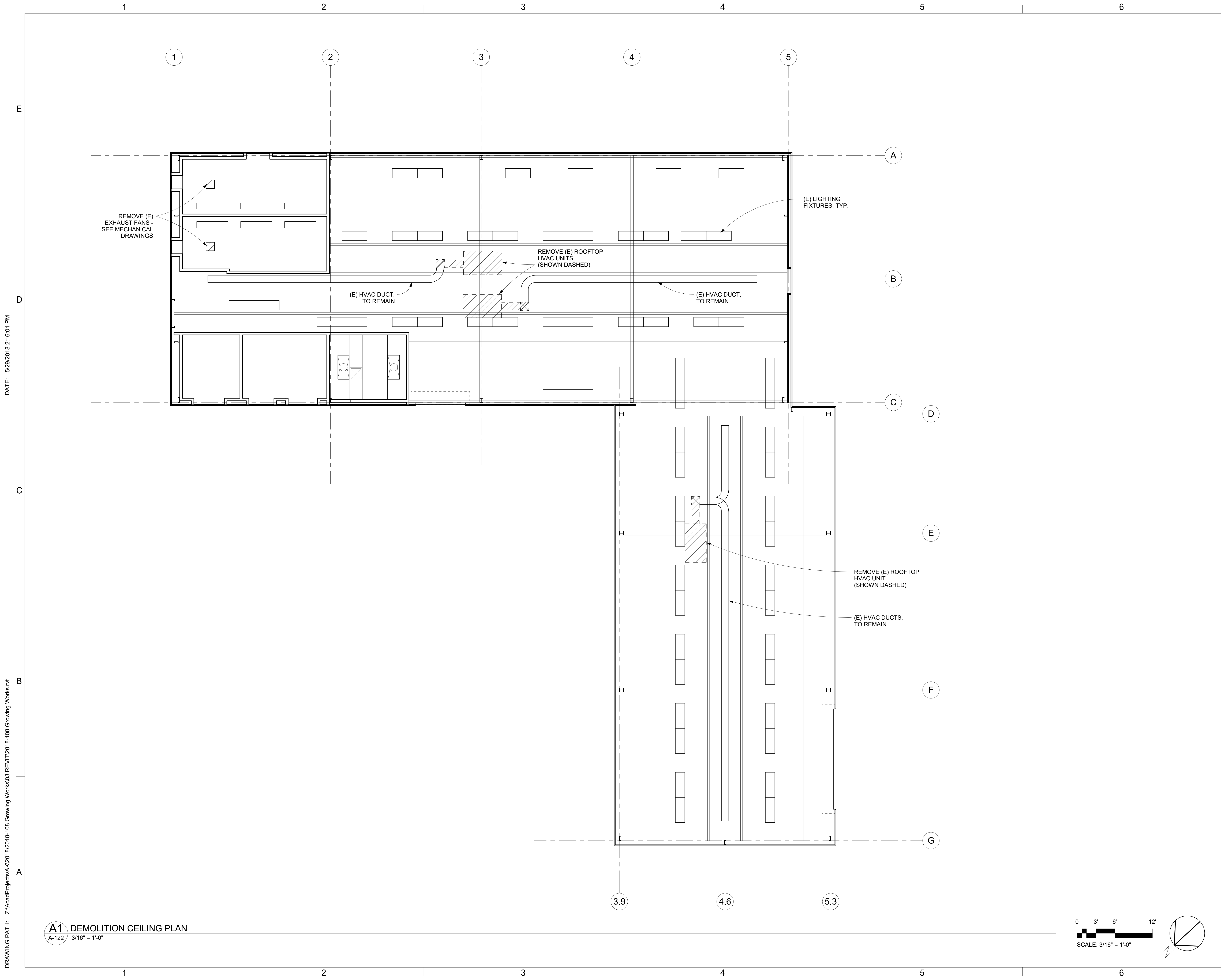


DATE: 5/29/2018 2:16:01 PM

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A1 DEMOLITION FLOOR PLAN
A-121 3/16" = 1'-0"





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1732 South Lewis Road
 Camarillo, California 93012

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DEMOLITION CEILING PLAN

Date: **29 May 2018**
 Sheet Number:

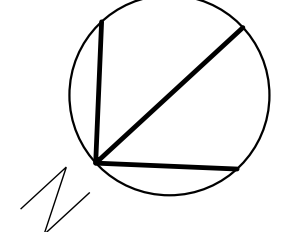
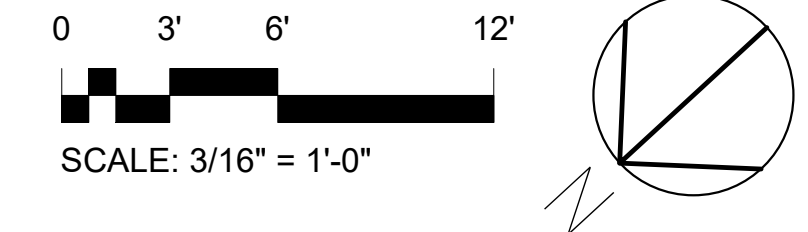
A-122

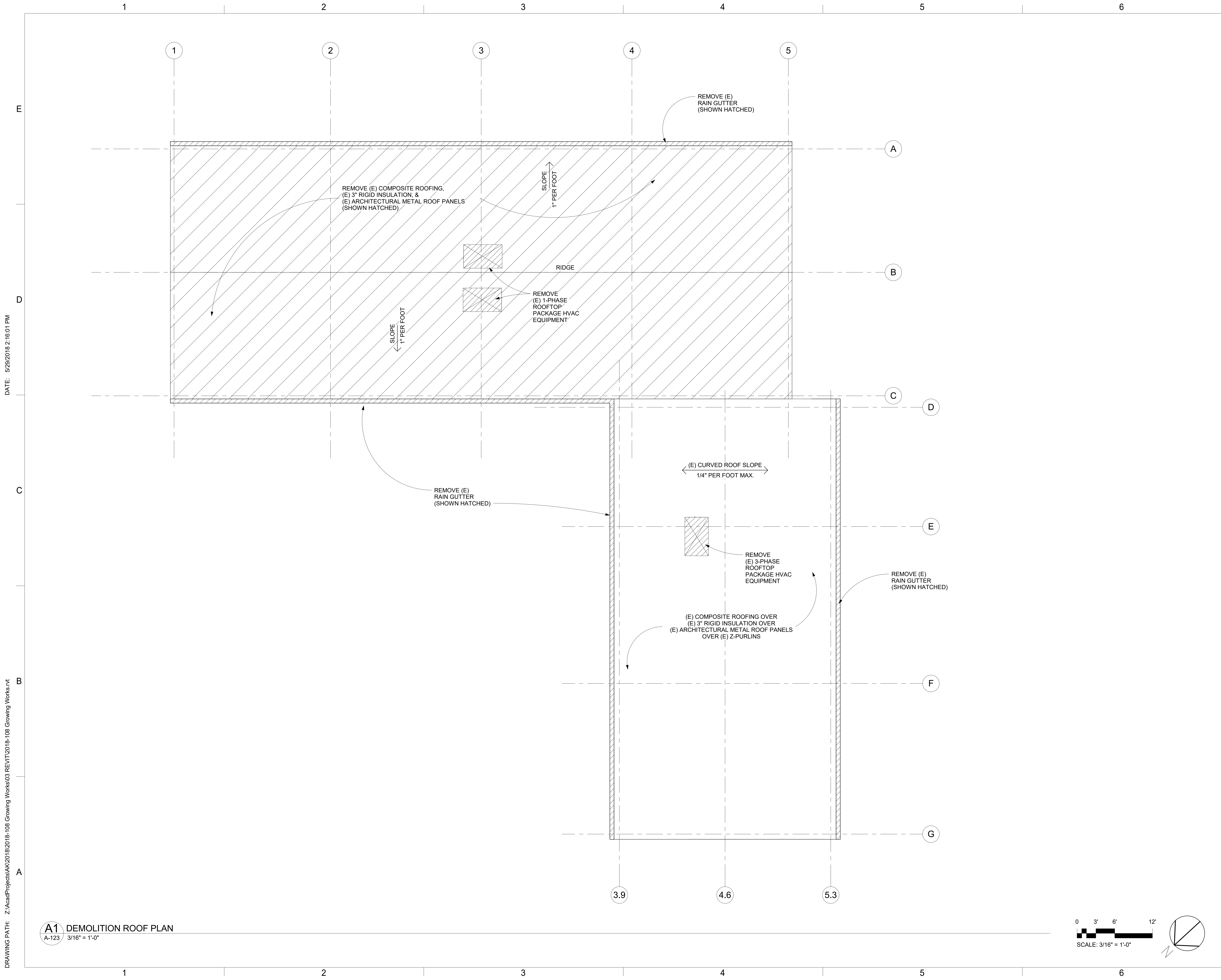
PRELIMINARY

DATE: 5/29/2018 2:16:01 PM

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A1 DEMOLITION CEILING PLAN
 A-122 3/16" = 1'-0"

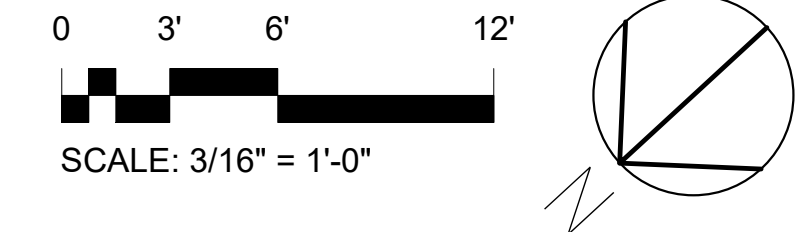




DATE: 5/29/2018 2:16:01 PM

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A1 DEMOLITION ROOF PLAN
A-123 3/16" = 1'-0"



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Architect's Project Number:
2018-108
GSA Program Number:
RQM18024
Project:

**County of Ventura -
Growing Works Nursery
STORAGE BUILDING
REHABILITATION**

1732 South Lewis Road
Camarillo, California 93012

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Ventura, California 93009

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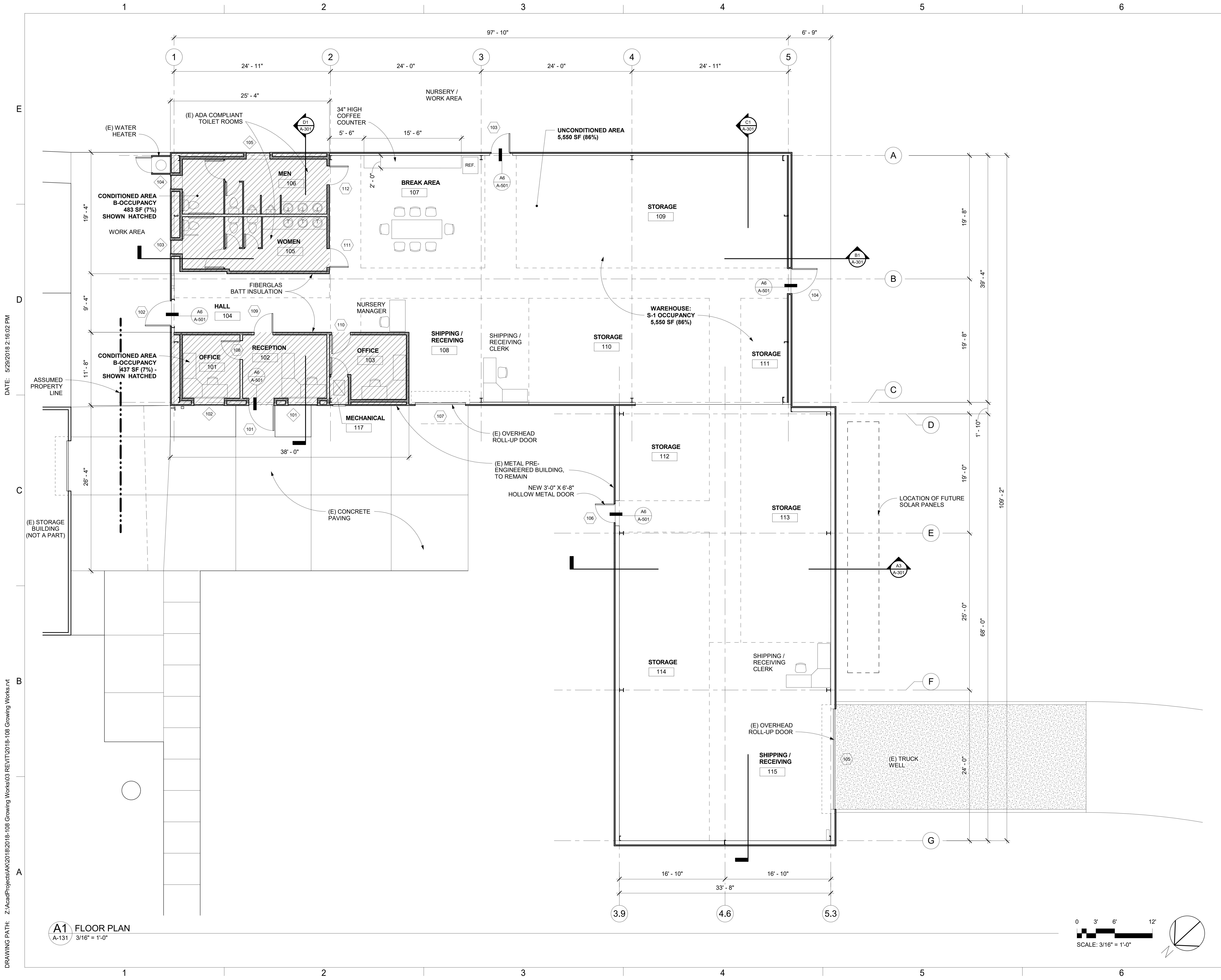
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Sheet Title:
**DEMOLITION ROOF
PLAN**

Date: **29 May 2018**
Sheet Number:
A-123
PRELIMINARY



DATE: 5/29/2018 2:16:02 PM

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A1 FLOOR PLAN
A-131 3/16" = 1'-0"

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GSA Program Number:
RQM18024
Project:

**County of Ventura -
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Camarillo, California 93012
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800 South Victoria Avenue
Ventura, California 93009

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REVISIONS	

Num	Date	Description
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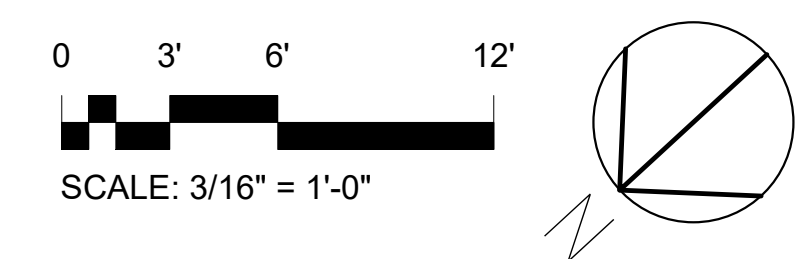
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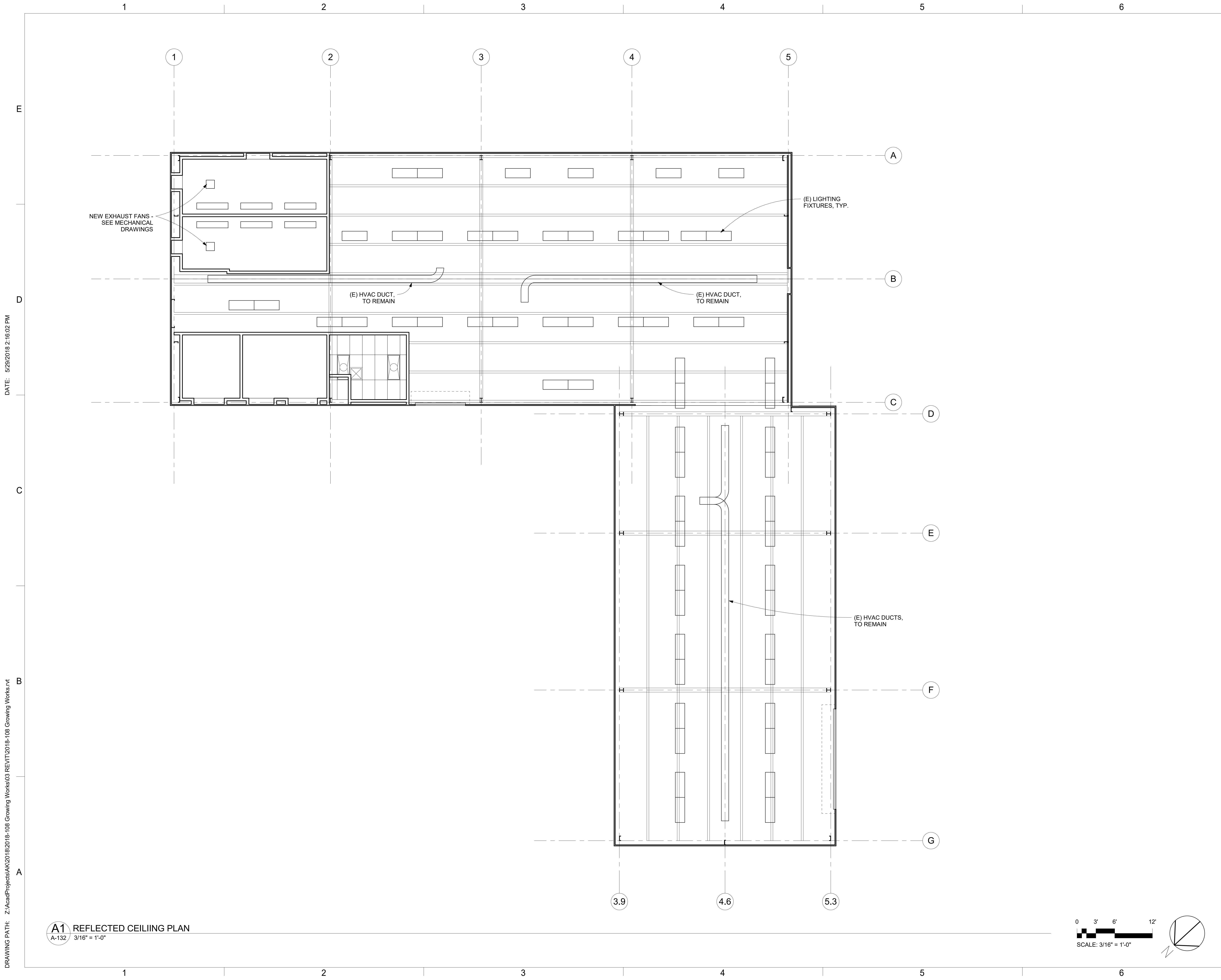
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Checked by: _____ Checker
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Sheet Title:
FLOOR PLAN

Date: **29 May 2018**
Sheet Number:

A-131
PRELIMINARY





DATE: 5/29/2018 2:16:02 PM

DRAWING PATH: Z:\acad\Projects\AK\2018\2018-108 Growing Works\03 REV\VT\2018-108 Growing Works.rvt

A1 REFLECTED CEILING PLAN
A-132 3/16" = 1'-0"

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Architect's Project Number:
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GSA Program Number:
RQM18024

Project:

**County of Ventura -
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STORAGE BUILDING
REHABILITATION**

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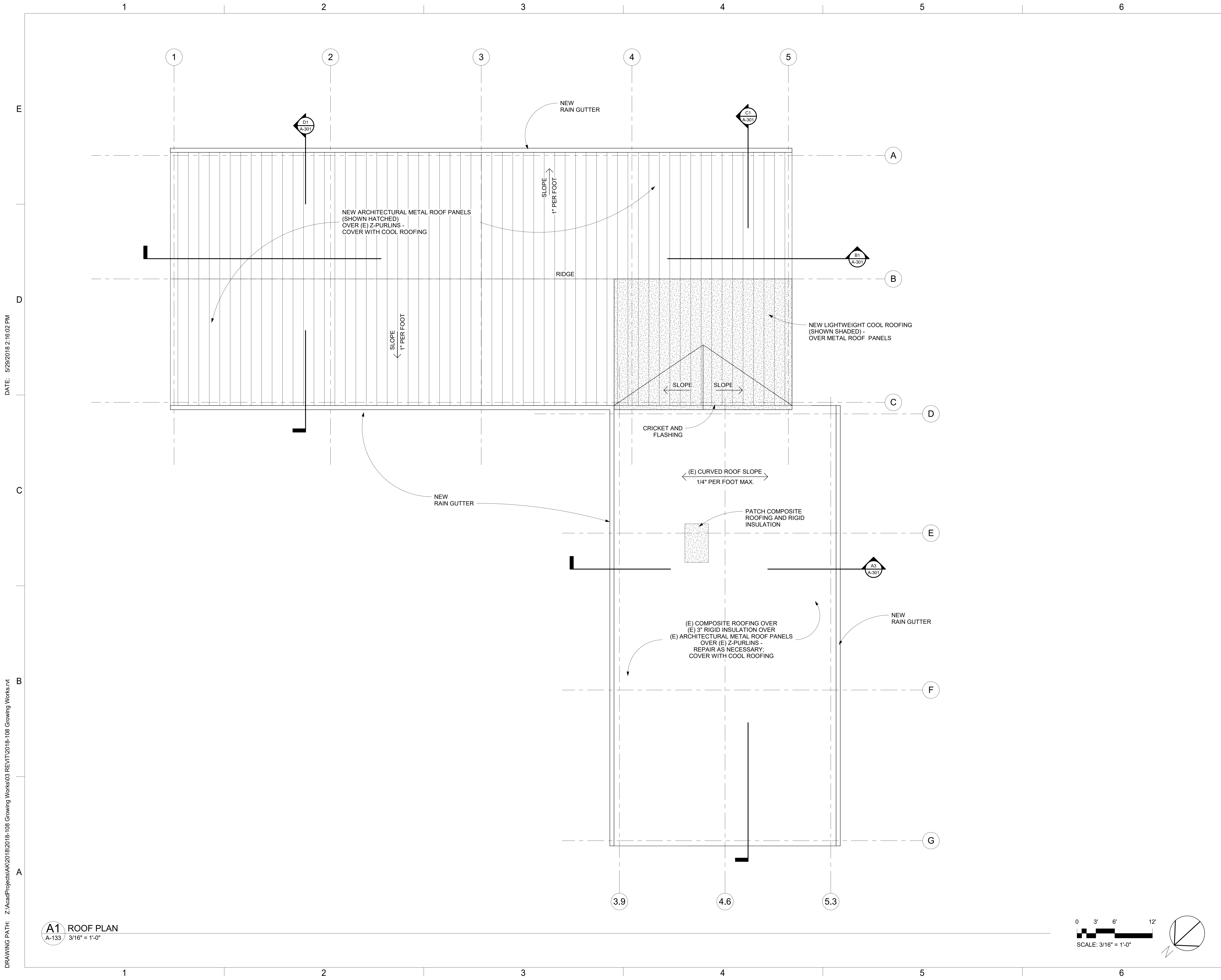
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**REFLECTED
CEILING PLAN**

Date: **29 May 2018**
Sheet Number:

A-132

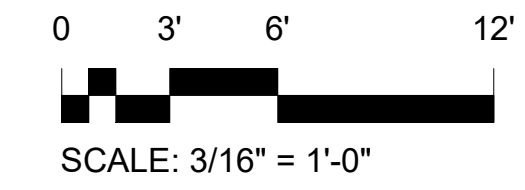
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DATE: 5/29/2018 2:16:02 PM

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A1 ROOF PLAN
A-133 3/16" = 1'-0"



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Architect's Project Number:
2018-108
GSA Program Number:
RQM18024
Project:

**County of Ventura -
Growing Works Nursery
STORAGE BUILDING
REHABILITATION**

1732 South Lewis Road
Camarillo, California 93012

Owner:
**COUNTY OF VENTURA
GSA PROJECTS GROUP**
800 South Victoria Avenue
Ventura, California 93009

△	Date	Description
REVISIONS		

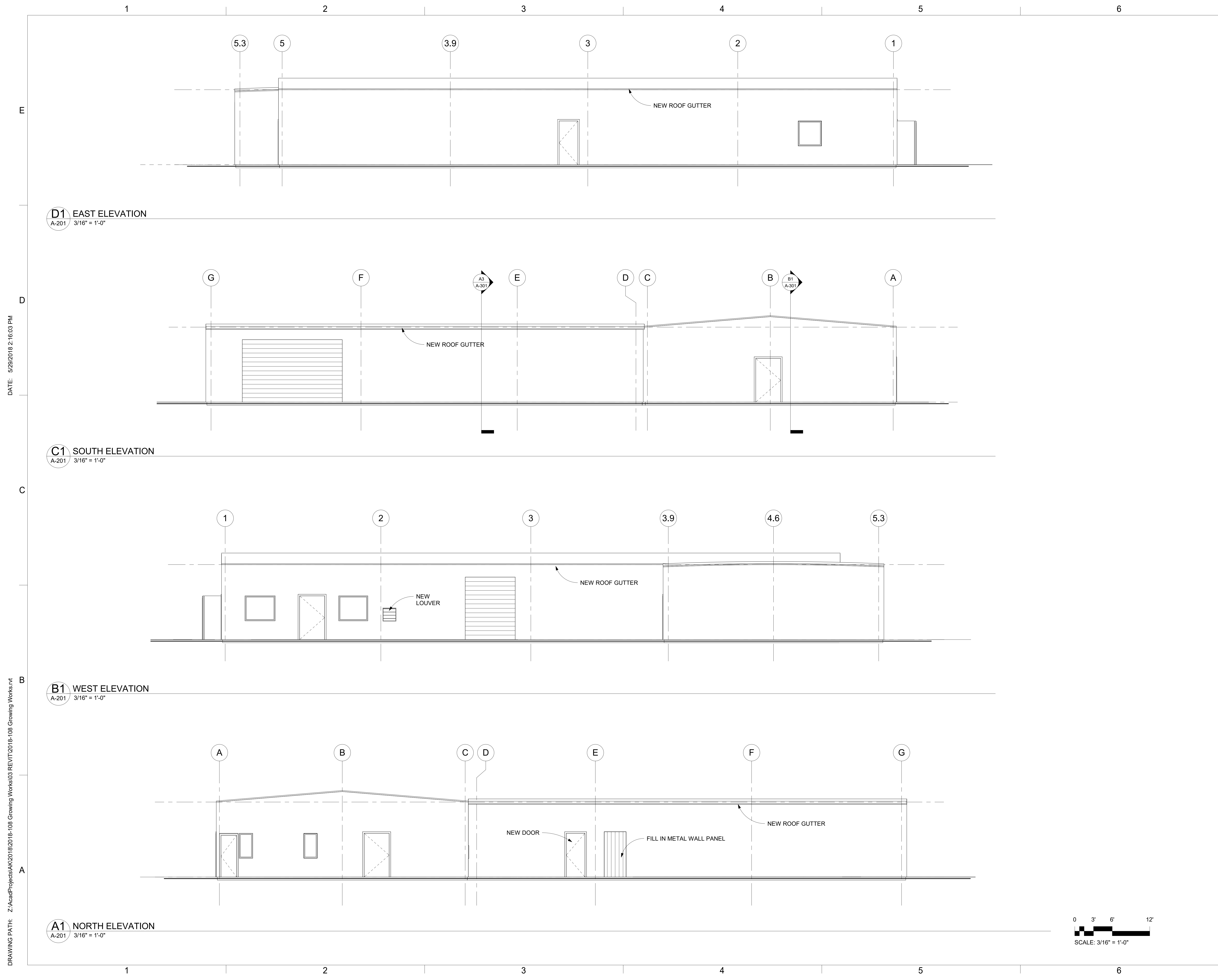
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Sheet Title:
ROOF PLAN

Date: **29 May 2018**
Sheet Number:
A-133
PRELIMINARY



DATE: 5/29/2018 2:16:03 PM

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Consultants:

Architect's Project Number:
2018-108

GSA Program Number:
RQM18024

Project:

County of Ventura - Growing Works Nursery STORAGE BUILDING REHABILITATION

1732 South Lewis Road
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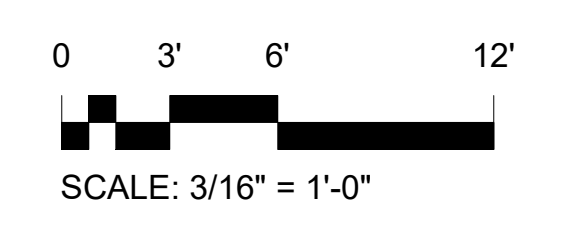
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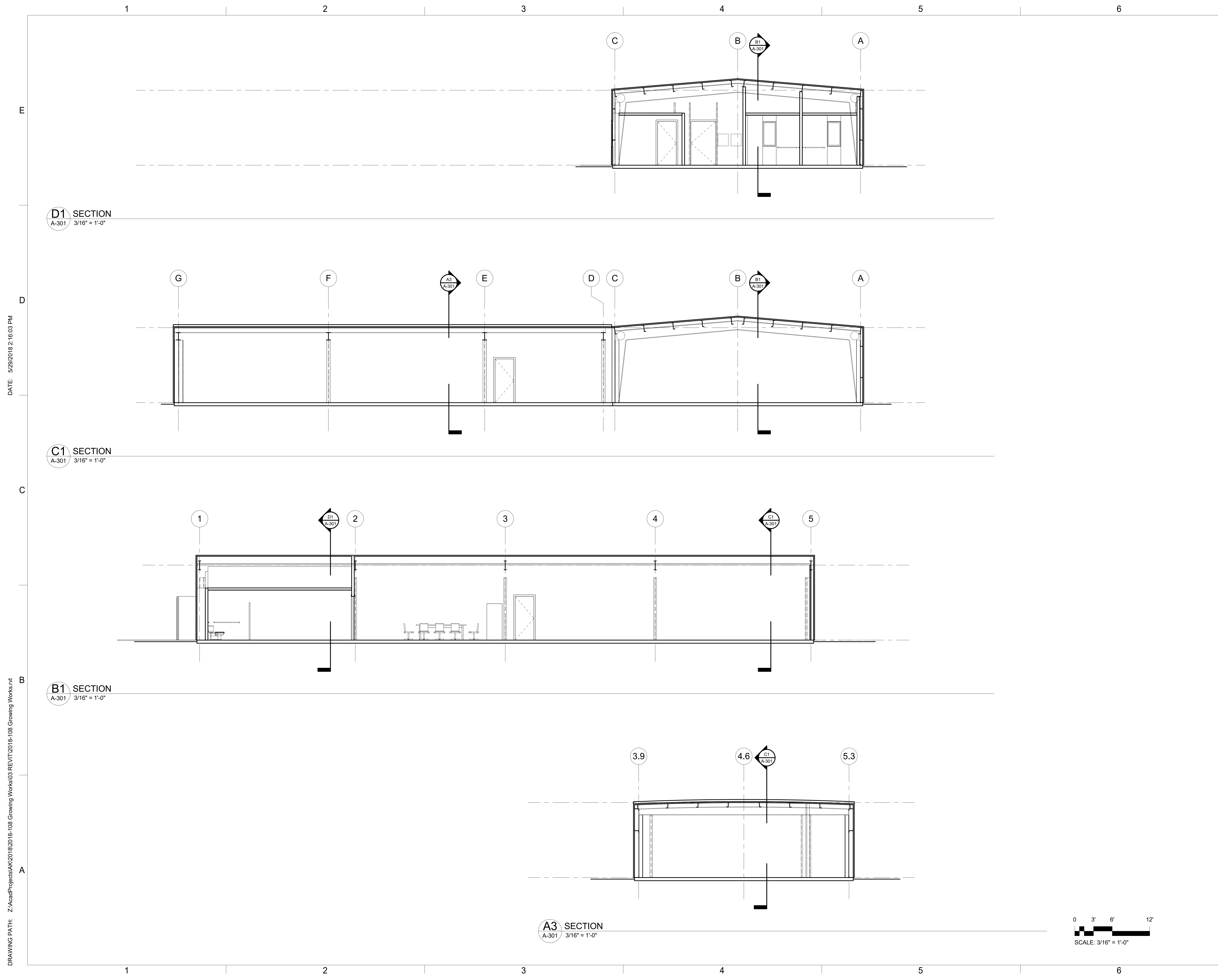
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CAD File Name: _____

Sheet Title:
EXTERIOR ELEVATIONS

Date: **29 May 2018**
Sheet Number:

A-201
PRELIMINARY





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Consultants:

Architect's Project Number:
2018-108

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Project:

**County of Ventura -
Growing Works Nursery
STORAGE BUILDING
REHABILITATION**

1732 South Lewis Road
Camarillo, California 93012

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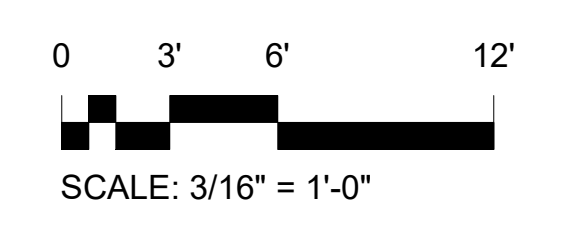
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Checked by: _____ Checker
CAD File Name: _____

Sheet Title:
BUILDING SECTIONS

Date: **29 May 2018**
Sheet Number:

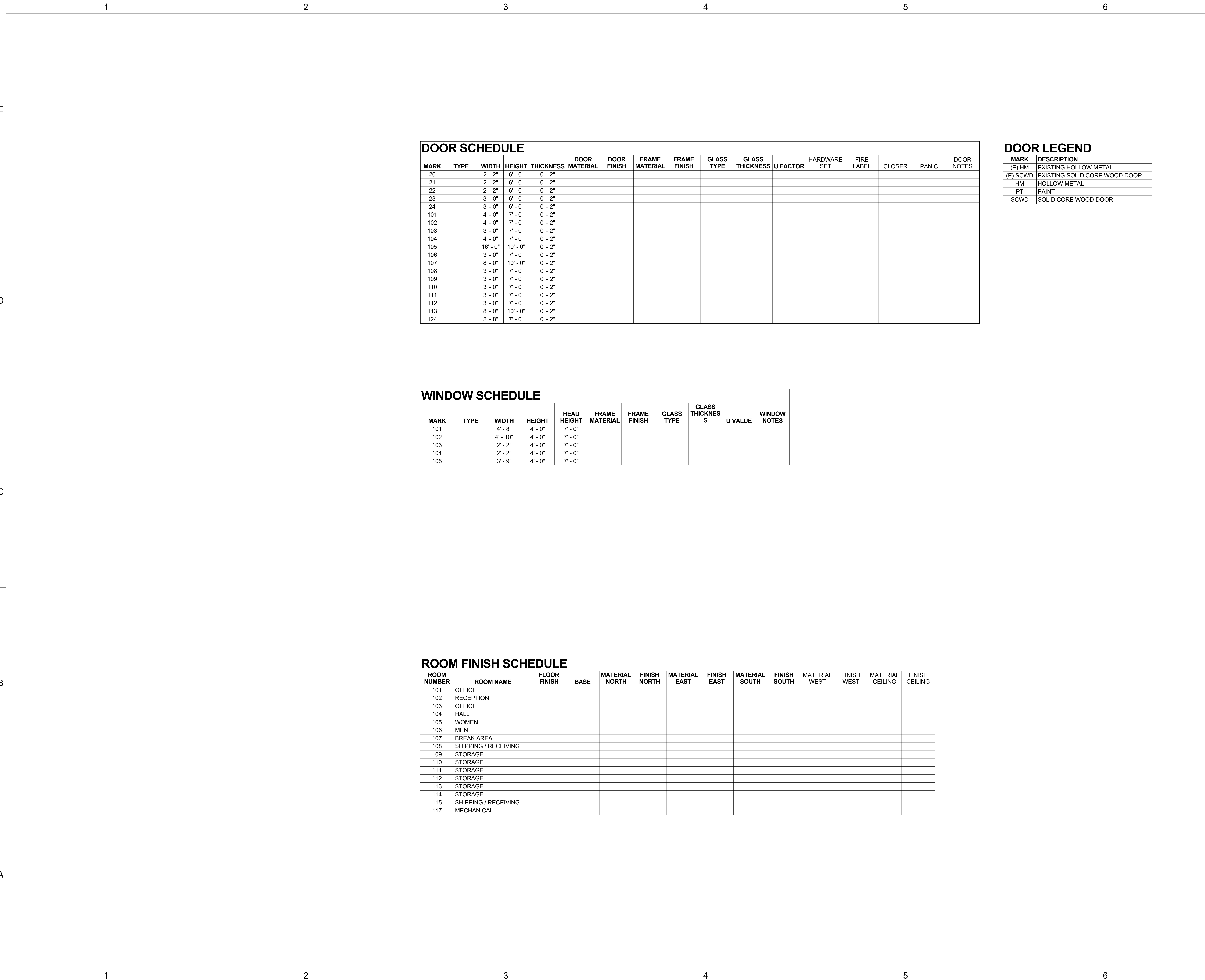
A-301

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A3 SECTION
A-301 3/16" = 1'-0"

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DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	GLASS TYPE	GLASS THICKNESS	U FACTOR	HARDWARE SET	FIRE LABEL	CLOSER	PANIC	DOOR NOTES
20		2' - 2"	6' - 0"	0' - 2"												
21		2' - 2"	6' - 0"	0' - 2"												
22		2' - 2"	6' - 0"	0' - 2"												
23		3' - 0"	6' - 0"	0' - 2"												
24		3' - 0"	6' - 0"	0' - 2"												
101		4' - 0"	7' - 0"	0' - 2"												
102		4' - 0"	7' - 0"	0' - 2"												
103		3' - 0"	7' - 0"	0' - 2"												
104		4' - 0"	7' - 0"	0' - 2"												
105		16' - 0"	10' - 0"	0' - 2"												
106		3' - 0"	7' - 0"	0' - 2"												
107		8' - 0"	10' - 0"	0' - 2"												
108		3' - 0"	7' - 0"	0' - 2"												
109		3' - 0"	7' - 0"	0' - 2"												
110		3' - 0"	7' - 0"	0' - 2"												
111		3' - 0"	7' - 0"	0' - 2"												
112		3' - 0"	7' - 0"	0' - 2"												
113		8' - 0"	10' - 0"	0' - 2"												
124		2' - 8"	7' - 0"	0' - 2"												

DOOR LEGEND

MARK	DESCRIPTION
(E) HM	EXISTING HOLLOW METAL
(E) SCWD	EXISTING SOLID CORE WOOD DOOR
HM	HOLLOW METAL
PT	PAINT
SCWD	SOLID CORE WOOD DOOR

WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	FRAME MATERIAL	FRAME FINISH	GLASS TYPE	GLASS THICKNESS	U VALUE	WINDOW NOTES
101		4' - 8"	4' - 0"	7' - 0"						
102		4' - 10"	4' - 0"	7' - 0"						
103		2' - 2"	4' - 0"	7' - 0"						
104		2' - 2"	4' - 0"	7' - 0"						
105		3' - 9"	4' - 0"	7' - 0"						

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE	MATERIAL NORTH	FINISH NORTH	MATERIAL EAST	FINISH EAST	MATERIAL SOUTH	FINISH SOUTH	MATERIAL WEST	FINISH WEST	MATERIAL CEILING	FINISH CEILING
101	OFFICE												
102	RECEPTION												
103	OFFICE												
104	HALL												
105	WOMEN												
106	MEN												
107	BREAK AREA												
108	SHIPPING / RECEIVING												
109	STORAGE												
110	STORAGE												
111	STORAGE												
112	STORAGE												
113	STORAGE												
114	STORAGE												
115	SHIPPING / RECEIVING												
117	MECHANICAL												

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Architect's Project Number:
2018-108

GSA Program Number:
RQM18024

Project:

County of Ventura - Storage Works Nursery STORAGE BUILDING REHABILITATION

1732 South Lewis Road
Camarillo, California 93012

Owner:
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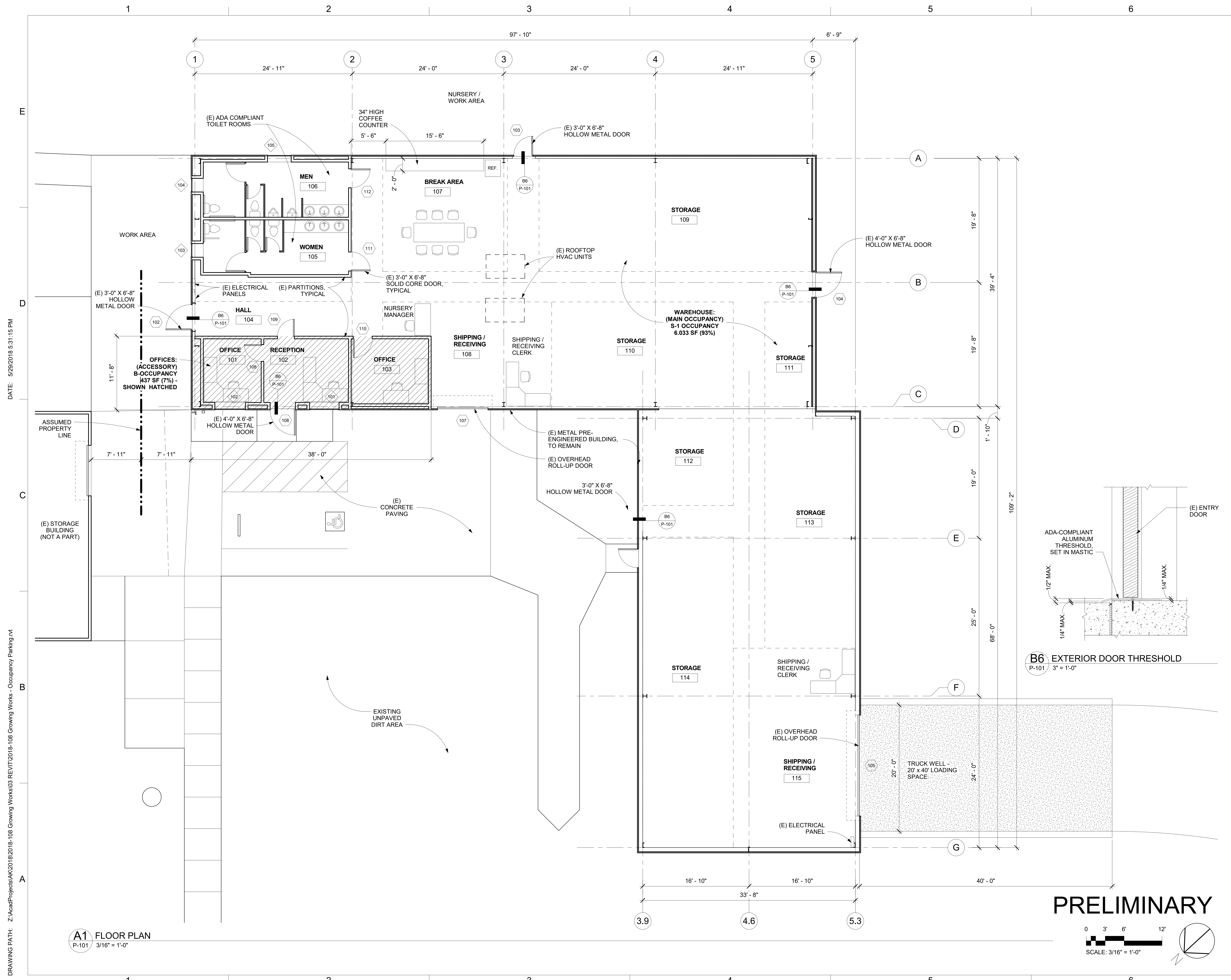
Sheet Title:
SCHEDULES

Date: **29 May 2018**

Sheet Number:

A-601

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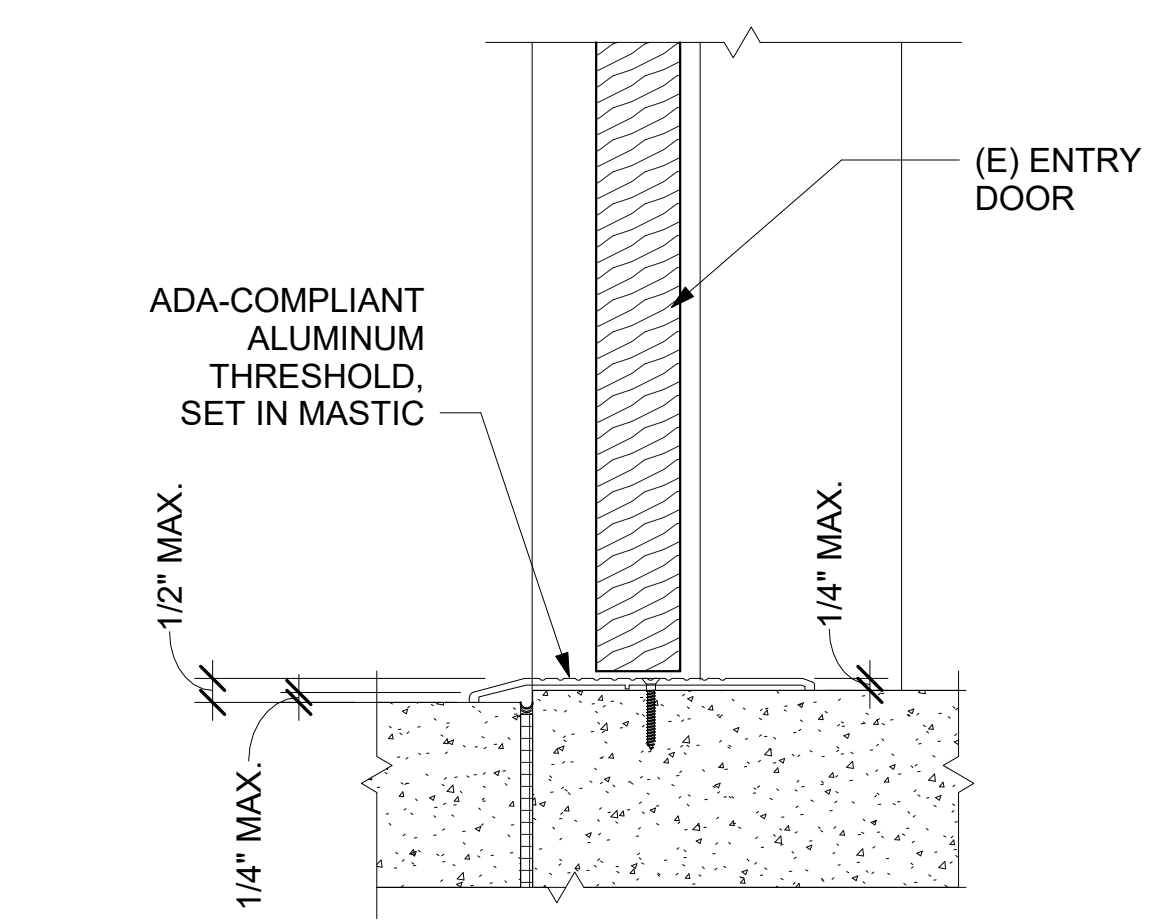
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 Architect's Project Number:
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 GSA Program Number:
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 Project:

County of Ventura - Growing Works Nursery TENANT OCCUPANCY

1732 South Lewis Road
 Camarillo, California 93012
 Owner:
COUNTY OF VENTURA GSA PROJECTS GROUP
 800 South Victoria Avenue
 Ventura, California 93009



B6 EXTERIOR DOOR THRESHOLD
 P-101 3" = 1'-0"

PRELIMINARY
 0 3' 6' 12'
 SCALE: 3/16" = 1'-0"

A1 FLOOR PLAN
 P-101 3/16" = 1'-0"

Date	Description
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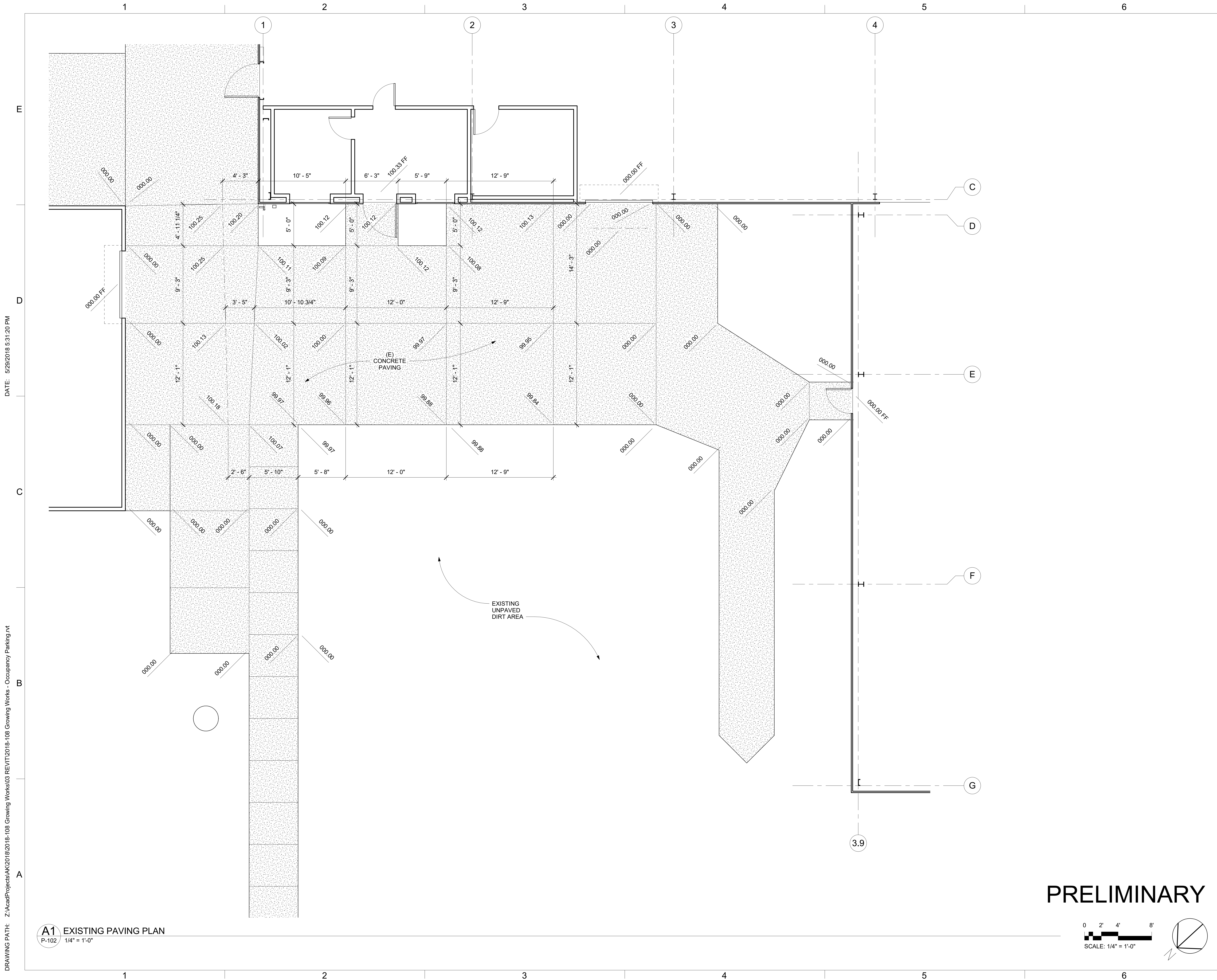
Sheet Title:
FLOOR PLAN

Date: **29 May 2018**
 Sheet Number:

P-101

DATE: 5/29/2018 5:31:15 PM

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DATE: 5/29/2018 5:31:20 PM

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A1 EXISTING PAVING PLAN
P-102 1/4" = 1'-0"

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Architect's Project Number:
2018-108
GSA Program Number:
RQM18024
Project:

County of Ventura - Growing Works Nursery TENANT OCCUPANCY

1732 South Lewis Road
Camarillo, California 93012

Owner:
COUNTY OF VENTURA GSA PROJECTS GROUP
800 South Victoria Avenue
Ventura, California 93009

Date	Description
REVISIONS	

Num	Date	Description
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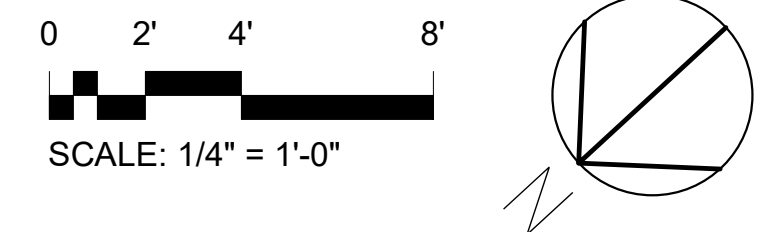
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Sheet Title:
EXISTING PAVING PLAN

Date: **29 May 2018**
Sheet Number:

P-102

PRELIMINARY



**ANDERSON
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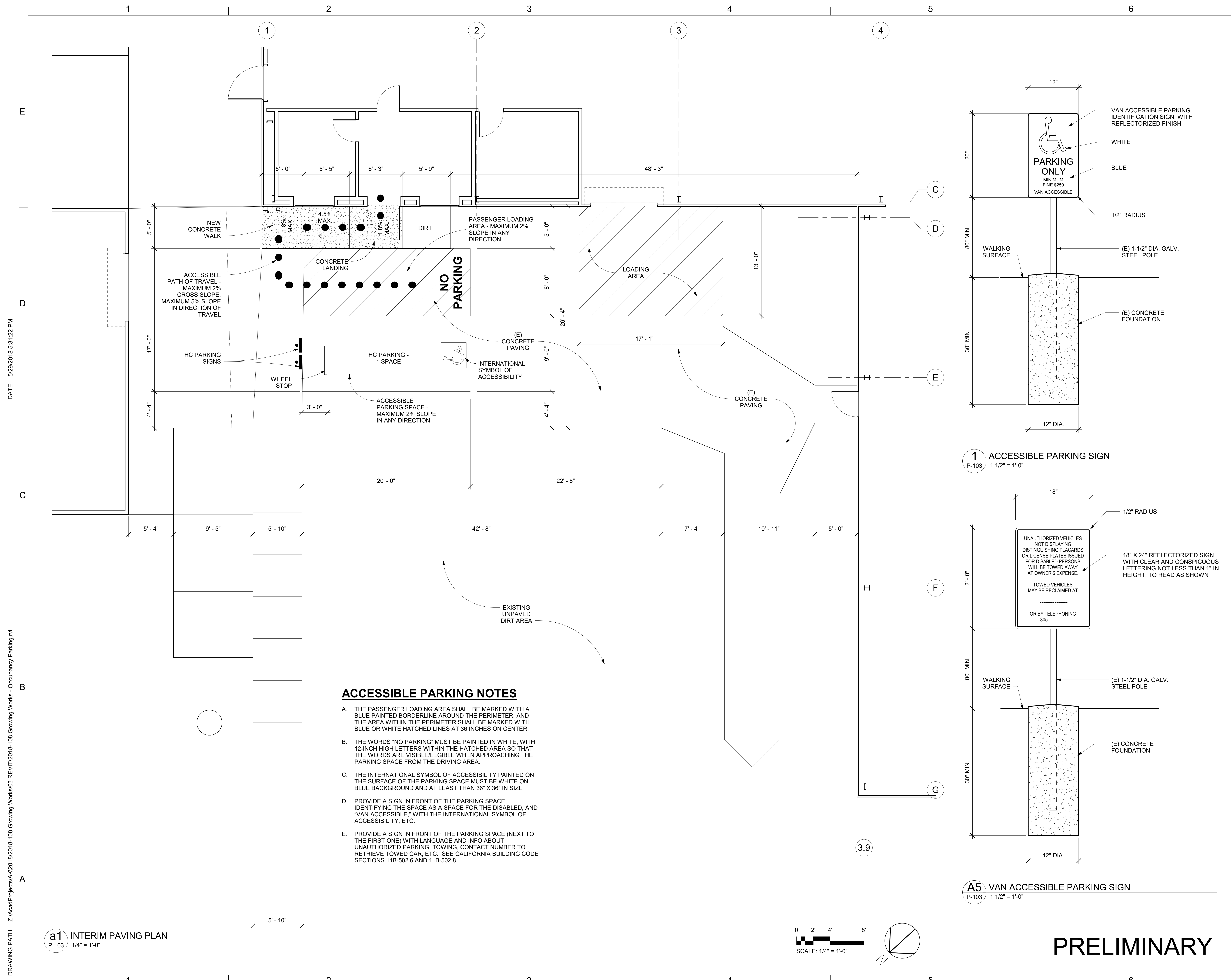
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**INTERIM PAVING
PLAN**

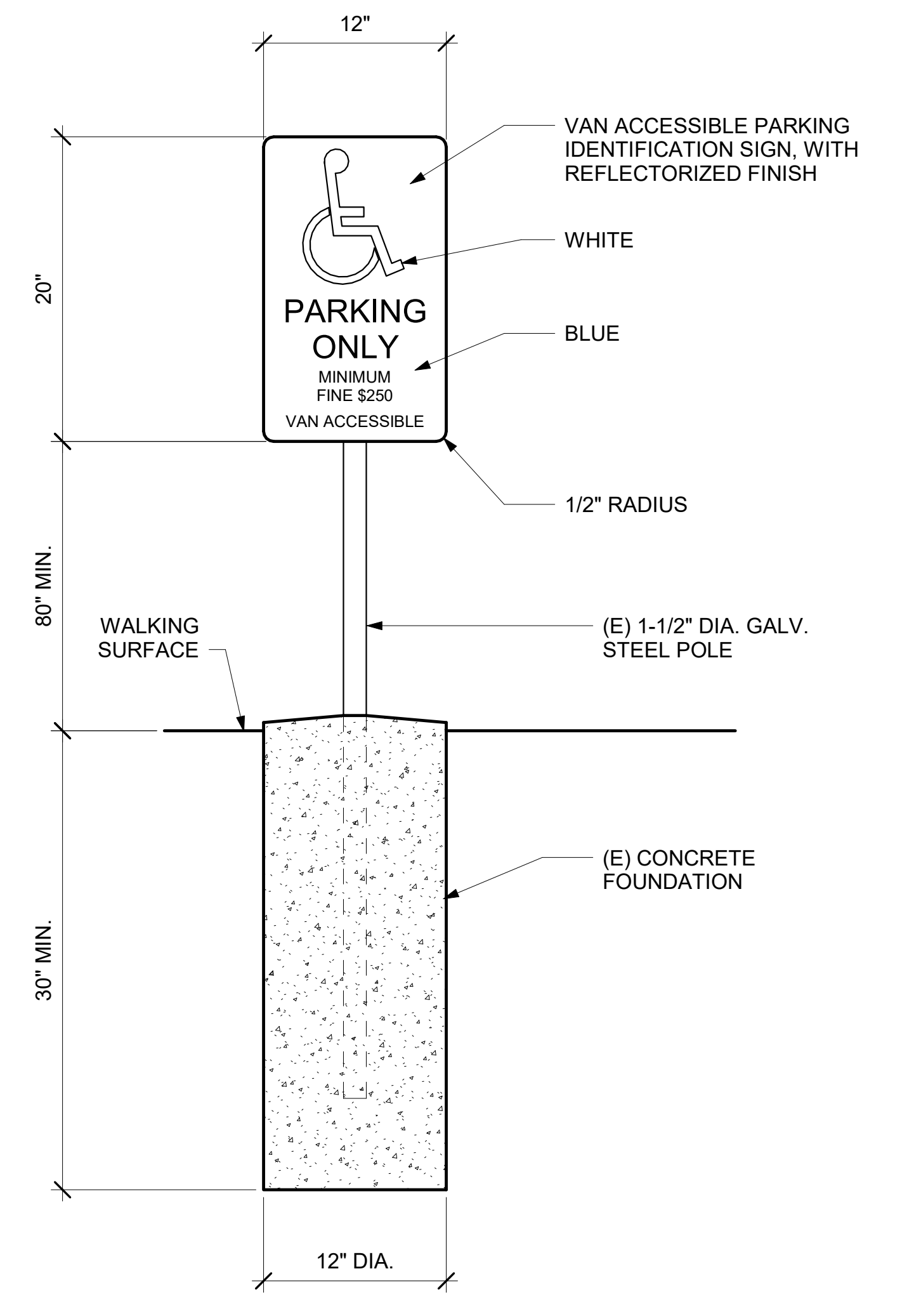
Date: **29 May 2018**
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P-103

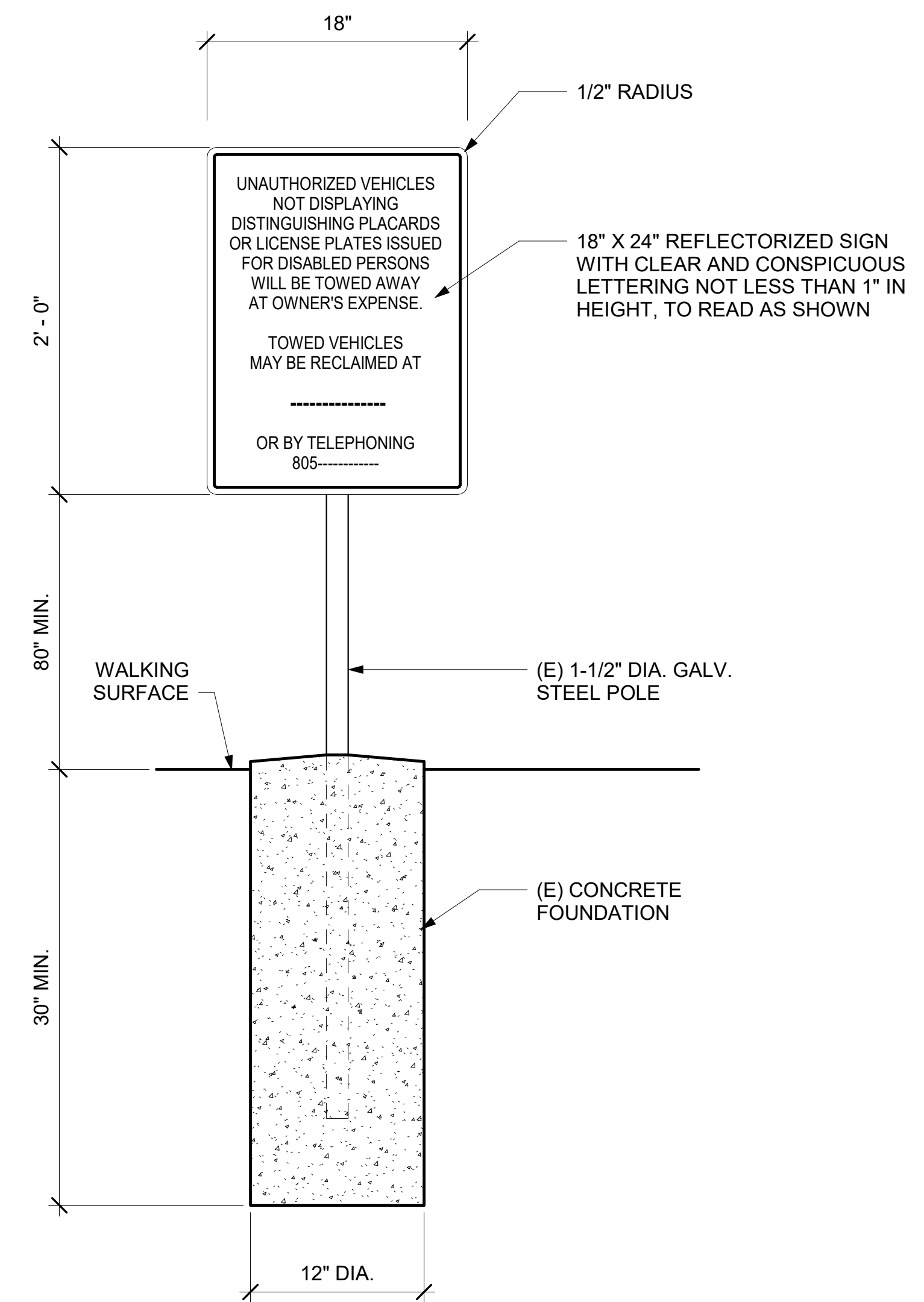


ACCESSIBLE PARKING NOTES

- A. THE PASSENGER LOADING AREA SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THE PERIMETER, AND THE AREA WITHIN THE PERIMETER SHALL BE MARKED WITH BLUE OR WHITE HATCHED LINES AT 36 INCHES ON CENTER.
- B. THE WORDS "NO PARKING" MUST BE PAINTED IN WHITE, WITH 12-INCH HIGH LETTERS WITHIN THE HATCHED AREA SO THAT THE WORDS ARE VISIBLE/LEGIBLE WHEN APPROACHING THE PARKING SPACE FROM THE DRIVING AREA.
- C. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE SURFACE OF THE PARKING SPACE MUST BE WHITE ON BLUE BACKGROUND AND AT LEAST 36" X 36" IN SIZE
- D. PROVIDE A SIGN IN FRONT OF THE PARKING SPACE IDENTIFYING THE SPACE AS A SPACE FOR THE DISABLED, AND "VAN-ACCESSIBLE," WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, ETC.
- E. PROVIDE A SIGN IN FRONT OF THE PARKING SPACE (NEXT TO THE FIRST ONE) WITH LANGUAGE AND INFO ABOUT UNAUTHORIZED PARKING, TOWING, CONTACT NUMBER TO RETRIEVE TOWED CAR, ETC. SEE CALIFORNIA BUILDING CODE SECTIONS 11B-502.6 AND 11B-502.8.



1 ACCESSIBLE PARKING SIGN
P-103 1 1/2" = 1'-0"



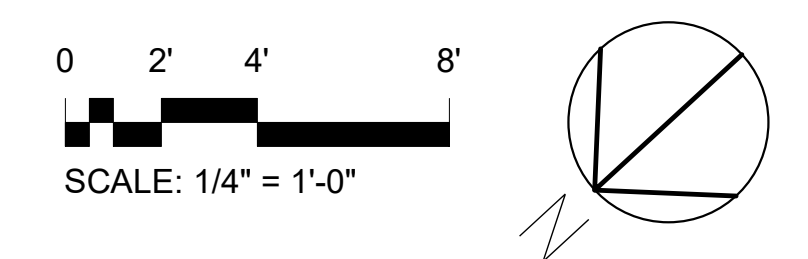
A5 VAN ACCESSIBLE PARKING SIGN
P-103 1 1/2" = 1'-0"

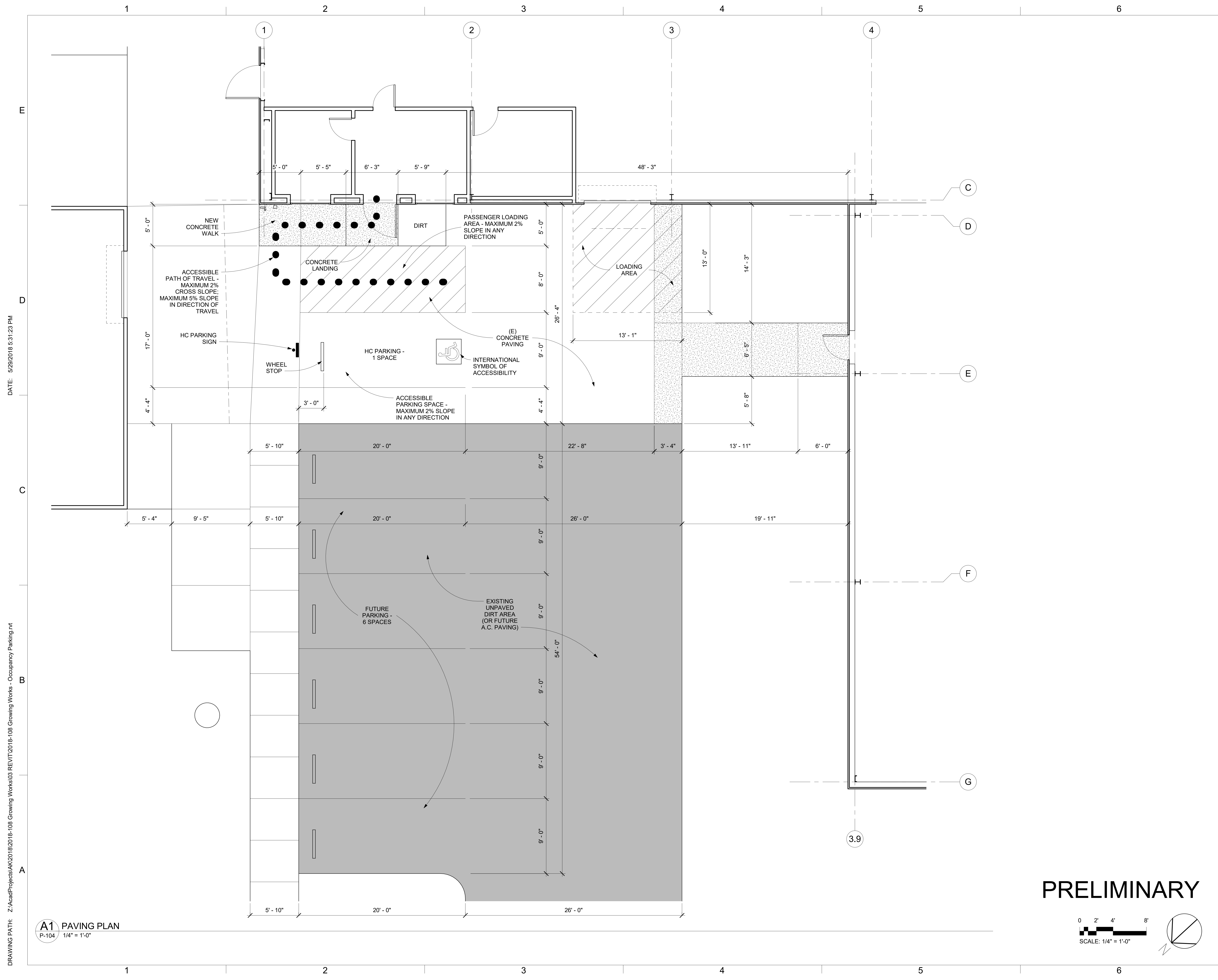
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DATE: 5/29/2018 5:31:22 PM

DRAWING PATH: Z:\Acad\Projects\AK2018\2018-108 Growing Works\03 REV\T2018-108 Growing Works - Occupancy Parking.rvt

a1 INTERIM PAVING PLAN
P-103 1/4" = 1'-0"



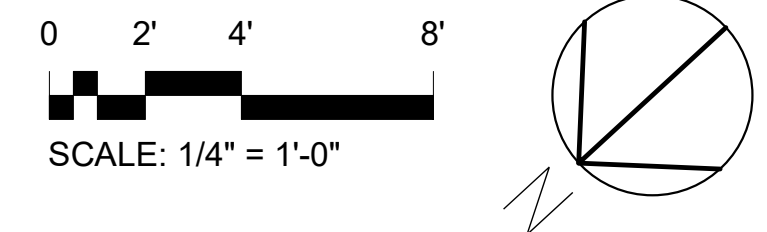


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A1 PAVING PLAN
P-104 1/4" = 1'-0"

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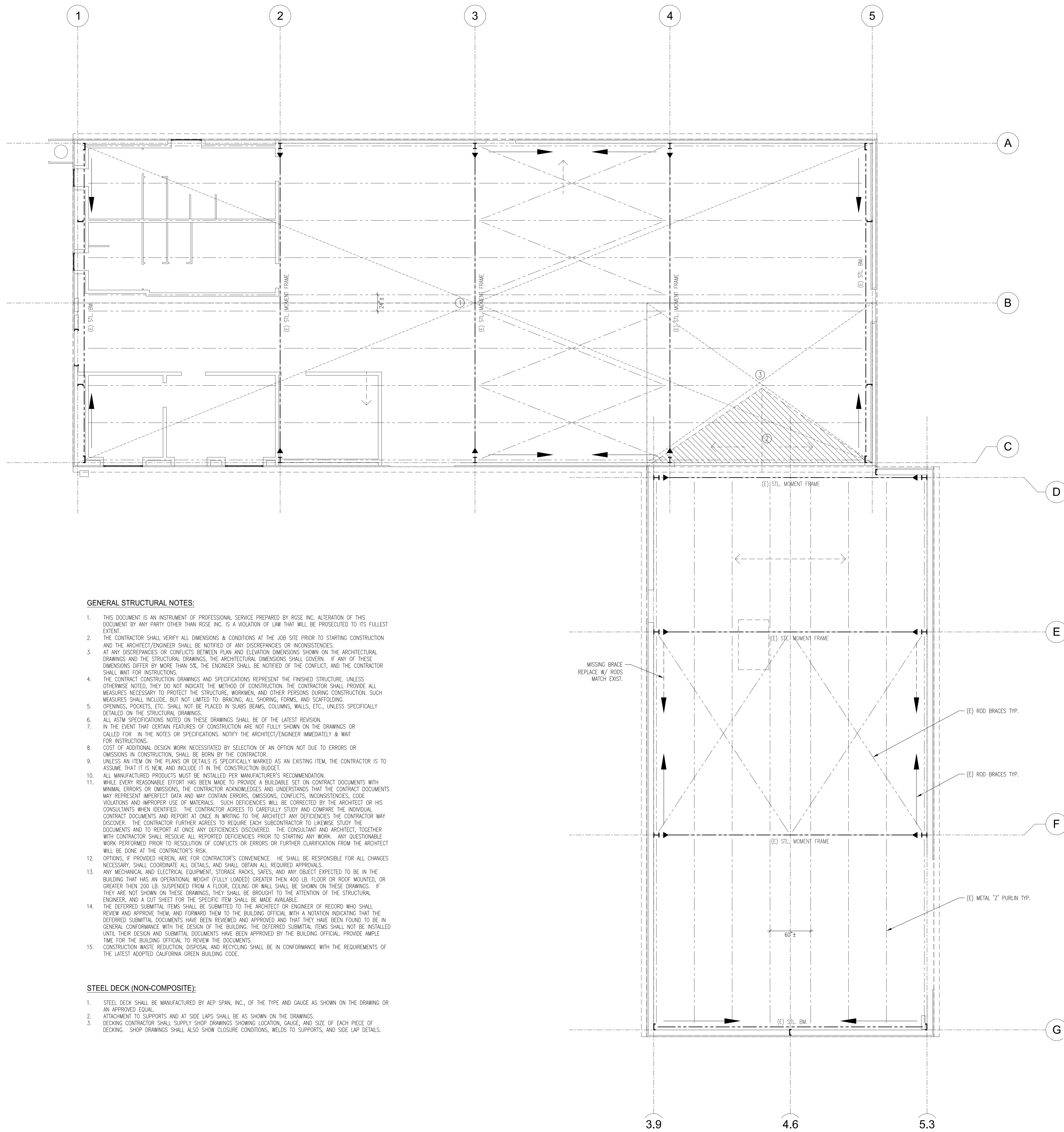
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Sheet Title:
PAVING PLAN - FUTURE

Date: **29 May 2018**
Sheet Number:

P-104



- ROOF LEGEND:**
- ① GRIDS (1-5, A-C) REMOVE (E) ARCH MTL PANELING & REPLACE W/: 24 GA. MIN. (3 SPANS) SUPER SPAN BY AEP SPAN OR EQUAL W/#10 SMS AND NEOPRENE WASHERS @ 6"O.C. EA. LINE OF SUPPORT. COLOR PER ARCH.
 - ② COOL ROOF FOAM TO FORM CRICKET BTWN BLDGS. ≤ 5 PSF
 - ③ GRIDS (3.9-5, A.9-C) WHITE VINYLE ROOFING OVER FOAM & MTL PANELS.

GENERAL STRUCTURAL NOTES:

1. THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED BY RGSE INC. ALTERATION OF THIS DOCUMENT BY ANY PARTY OTHER THAN RGSE INC. IS A VIOLATION OF LAW THAT WILL BE PROSECUTED TO ITS FULLEST EXTENT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT THE JOB SITE PRIOR TO STARTING CONSTRUCTION AND THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
3. AT ANY DISCREPANCIES OR CONFLICTS BETWEEN PLAN AND ELEVATION DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS AND THE STRUCTURAL DRAWINGS, THE ARCHITECTURAL DIMENSIONS SHALL GOVERN. IF ANY OF THESE DIMENSIONS DIFFER BY MORE THAN 5%, THE ENGINEER SHALL BE NOTIFIED OF THE CONFLICT, AND THE CONTRACTOR SHALL WAIT FOR INSTRUCTIONS.
4. THE CONTRACT CONSTRUCTION DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE NOTED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO: BRACING, ALL SHORING, FORMS, AND SCAFFOLDING.
5. OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN SLABS, BEAMS, COLUMNS, WALLS, ETC., UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.
6. ALL ASTM SPECIFICATIONS NOTED ON THESE DRAWINGS SHALL BE OF THE LATEST REVISION.
7. IN THE EVENT THAT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY & WAIT FOR INSTRUCTIONS.
8. COST OF ADDITIONAL DESIGN WORK NECESSITATED BY SELECTION OF AN OPTION NOT DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION, SHALL BE BORNE BY THE CONTRACTOR.
9. UNLESS AN ITEM ON THE PLANS OR DETAILS IS SPECIFICALLY MARKED AS AN EXISTING ITEM, THE CONTRACTOR IS TO ASSUME THAT IT IS NEW, AND INCLUDE IT IN THE CONSTRUCTION BUDGET.
10. ALL MANUFACTURED PRODUCTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
11. WHILE EVERY REASONABLE EFFORT HAS BEEN MADE TO PROVIDE A BUILDABLE SET ON CONTRACT DOCUMENTS WITH MINIMAL ERRORS OR OMISSIONS, THE CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED BY THE ARCHITECT OR HIS CONSULTANTS WHEN IDENTIFIED. THE CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE ARCHITECT ANY DEFICIENCIES THE CONTRACTOR MAY DISCOVER. THE CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUBCONTRACTOR TO LICENSE STUDY THE DOCUMENTS AND TO REPORT AT ONCE ANY DEFICIENCIES DISCOVERED. THE CONSULTANT AND ARCHITECT, TOGETHER WITH CONTRACTOR SHALL RESOLVE ALL REPORTED DEFICIENCIES PRIOR TO STARTING ANY WORK. ANY QUESTIONABLE WORK PERFORMED PRIOR TO RESOLUTION OF CONFLICTS OR ERRORS OR FURTHER CLARIFICATION FROM THE ARCHITECT WILL BE DONE AT THE CONTRACTOR'S RISK.
12. OPTIONS, IF PROVIDED HEREIN, ARE FOR CONTRACTOR'S CONVENIENCE. HE SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY, SHALL COORDINATE ALL DETAILS, AND SHALL OBTAIN ALL REQUIRED APPROVALS.
13. ANY MECHANICAL AND ELECTRICAL EQUIPMENT, STORAGE RACKS, SAFES, AND ANY OBJECT EXPECTED TO BE IN THE BUILDING THAT HAS AN OPERATIONAL WEIGHT (FULLY LOADED) GREATER THEN 400 LB. FLOOR OR ROOF MOUNTED, OR GREATER THEN 200 LB. SUSPENDED FROM A FLOOR, CEILING OR WALL SHALL BE SHOWN ON THESE DRAWINGS. IF THEY ARE NOT SHOWN ON THESE DRAWINGS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER, AND A CUT SHEET FOR THE SPECIFIC ITEM SHALL BE MADE AVAILABLE.
14. THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW AND APPROVE THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. PROVIDE AMPLE TIME FOR THE BUILDING OFFICIAL TO REVIEW THE DOCUMENTS.
15. CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST ADOPTED CALIFORNIA GREEN BUILDING CODE.

STEEL DECK (NON-COMPOSITE):

1. STEEL DECK SHALL BE MANUFACTURED BY AEP SPAN, INC., OF THE TYPE AND GAUGE AS SHOWN ON THE DRAWING OR AN APPROVED EQUAL.
2. ATTACHMENT TO SUPPORTS AND AT SIDE LAPS SHALL BE AS SHOWN ON THE DRAWINGS.
3. DECKING CONTRACTOR SHALL SUPPLY SHOP DRAWINGS SHOWING LOCATION, GAUGE, AND SIZE OF EACH PIECE OF DECKING. SHOP DRAWINGS SHALL ALSO SHOW CLOSURE CONDITIONS, WELDS TO SUPPORTS, AND SIDE LAP DETAILS.

ROOF FRAMING PLAN

SCALE: 3/16"=1'-0"

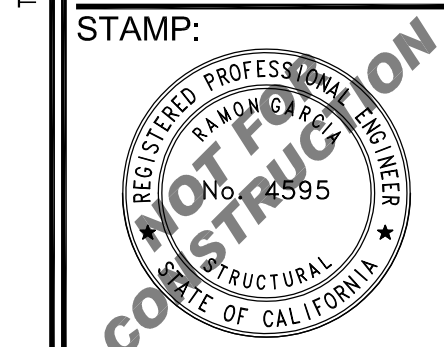
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NO.	REVISION	DATE

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SHEET TITLE :
GENERAL NOTES & ROOF FRAMING PLAN

JOB NO: 18123
 DRAWN: raulg@rgseinc.com
 ENGINEER: ramong@rgseinc.com
 DATE: 04/19/18



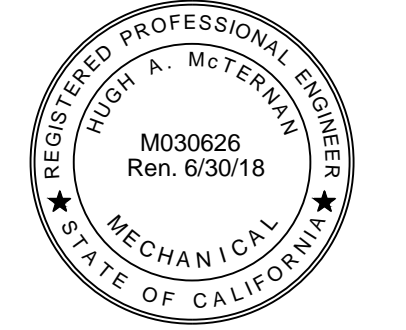
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**County of Ventura -
Growing Works Nursery
STORAGE BUILDING
REHABILITATION**

1732 South Lewis Road
Camarillo, California 93012

Owner:
**COUNTY OF VENTURA
GSA PROJECTS GROUP**

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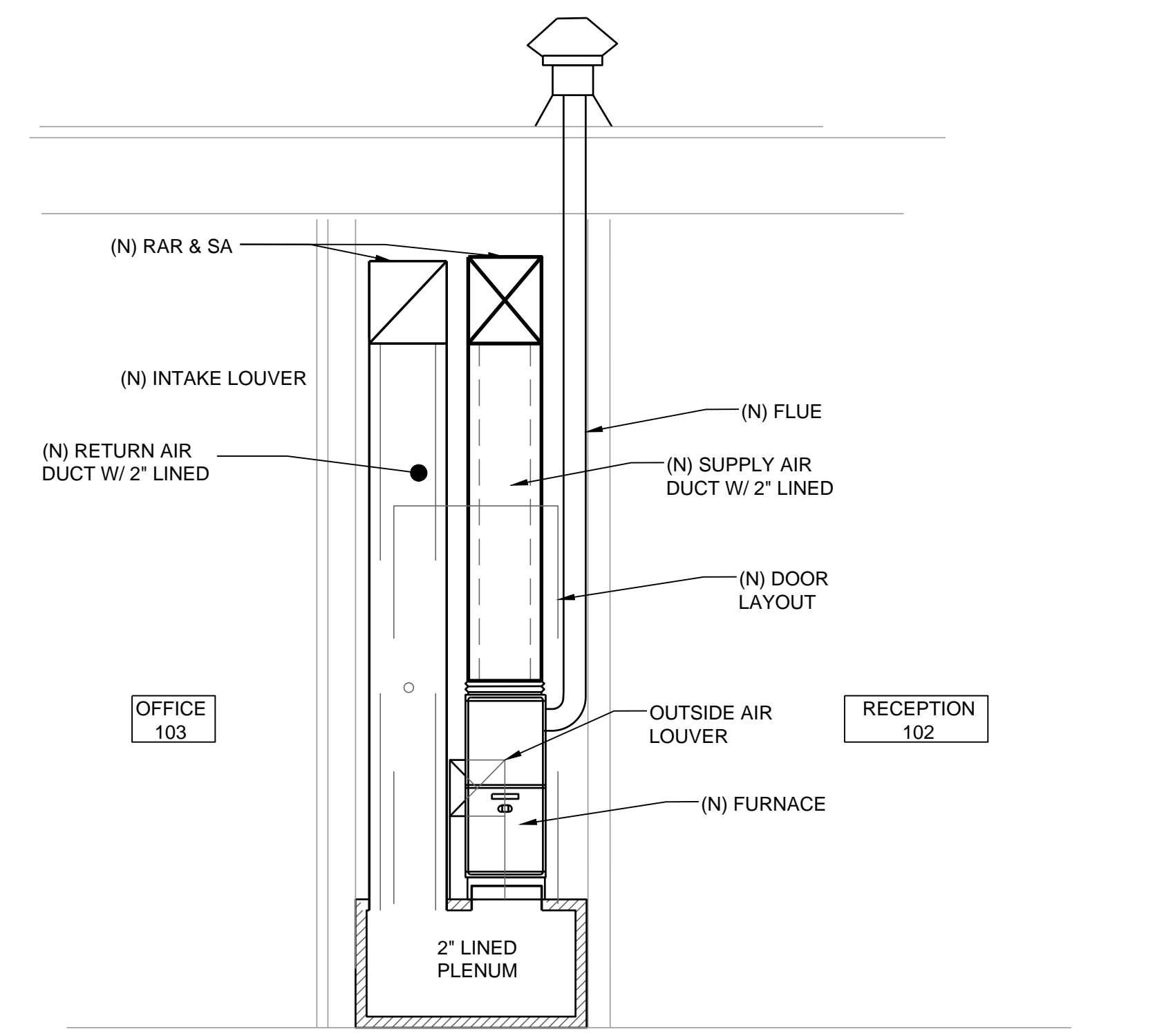
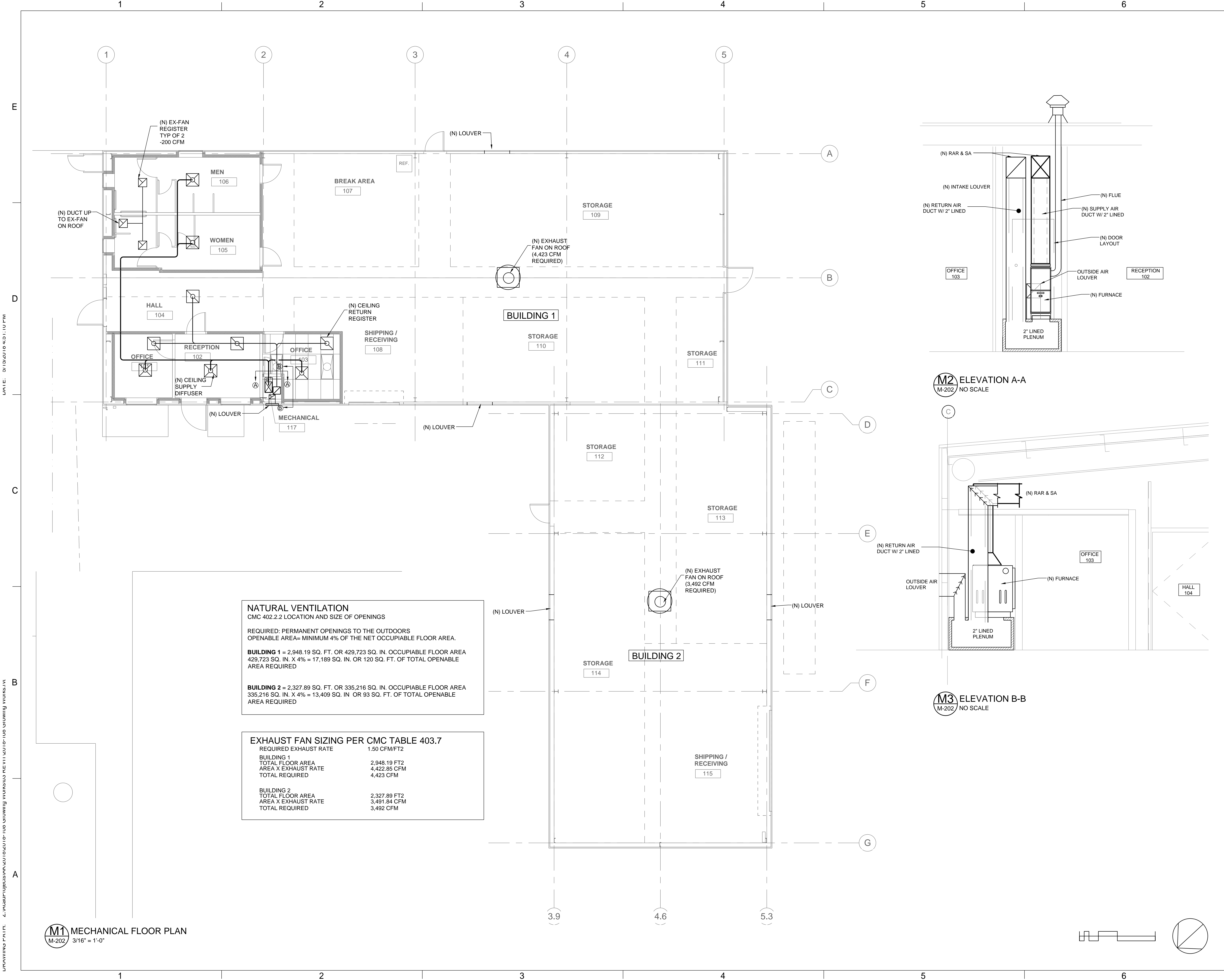
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MECHANICAL FLOOR PLAN

Date: 15 May 2018

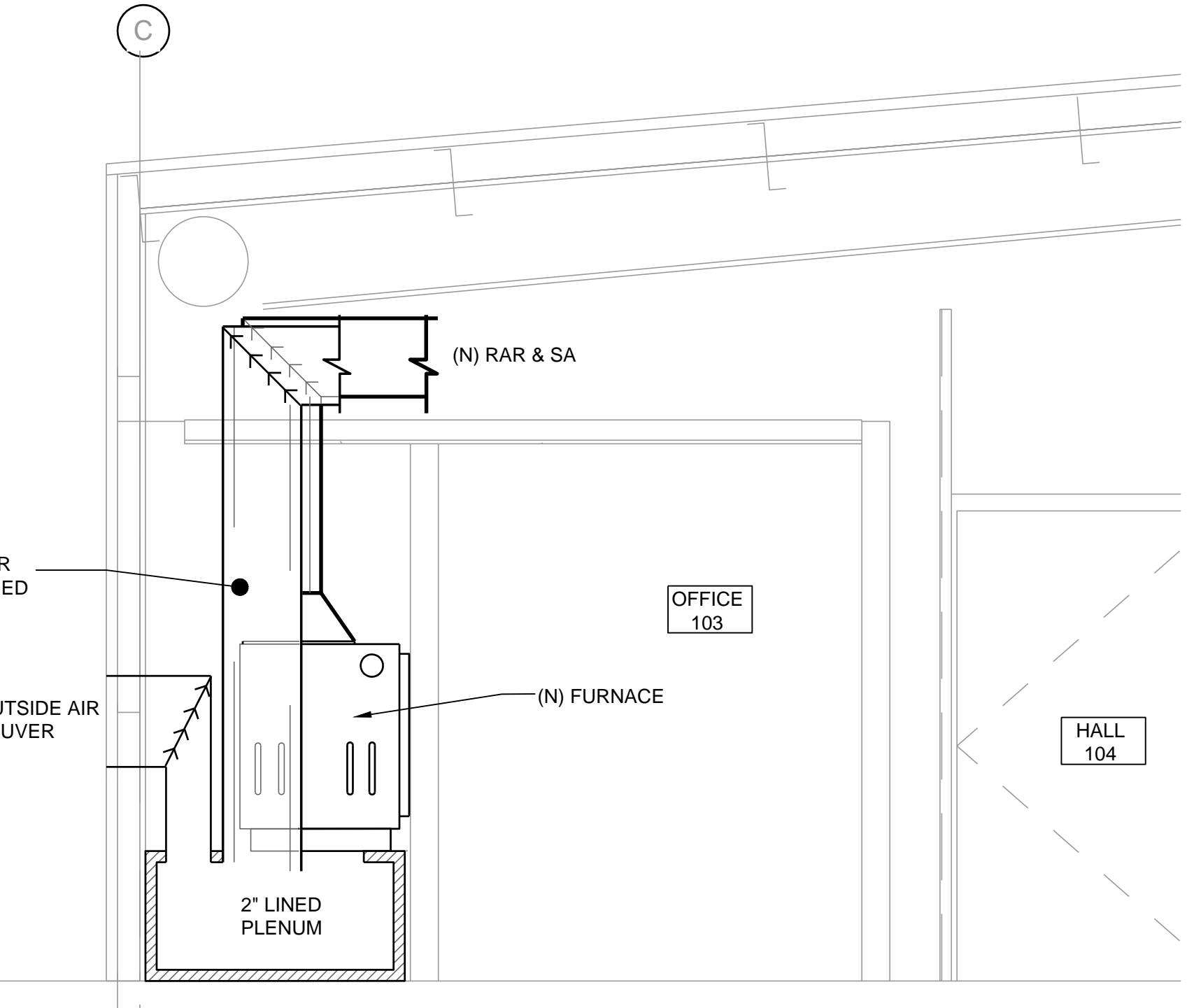
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M-202

PRELIMINARY



M2 ELEVATION A-A
M-202 NO SCALE



M3 ELEVATION B-B
M-202 NO SCALE

NATURAL VENTILATION
CMC 402.2.2 LOCATION AND SIZE OF OPENINGS

REQUIRED: PERMANENT OPENINGS TO THE OUTDOORS
OPENABLE AREA= MINIMUM 4% OF THE NET OCCUPIABLE FLOOR AREA.

BUILDING 1 = 2,948.19 SQ. FT. OR 429,723 SQ. IN. OCCUPIABLE FLOOR AREA
429,723 SQ. IN. X 4% = 17,189 SQ. IN. OR 120 SQ. FT. OF TOTAL OPENABLE AREA REQUIRED

BUILDING 2 = 2,327.89 SQ. FT. OR 335,216 SQ. IN. OCCUPIABLE FLOOR AREA
335,216 SQ. IN. X 4% = 13,409 SQ. IN. OR 93 SQ. FT. OF TOTAL OPENABLE AREA REQUIRED

EXHAUST FAN SIZING PER CMC TABLE 403.7

REQUIRED EXHAUST RATE	1.50 CFM/FT2
BUILDING 1	
TOTAL FLOOR AREA	2,948.19 FT2
AREA X EXHAUST RATE	4,422.85 CFM
TOTAL REQUIRED	4,423 CFM
BUILDING 2	
TOTAL FLOOR AREA	2,327.89 FT2
AREA X EXHAUST RATE	3,491.84 CFM
TOTAL REQUIRED	3,492 CFM

M1 MECHANICAL FLOOR PLAN
M-202 3/16" = 1'-0"

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Growing Works
INFRASTRUCTURE
REPAIR**

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**ELECTRICAL
REPORT
RECOMMENDATIONS**

Date: **11 April 2018**

Sheet Number:

E-100

PRELIMINARY

ELECTRICAL REPORT RECOMMENDATIONS

IN GENERAL, THE OVERALL SPACE IS IN PRETTY GOOD SHAPE, ELECTRICALLY. THE LIGHTING SHOULD BE REPLACED WITH LED AT SOME POINT IN THE FUTURE, BUT CURRENTLY, IT IS BRIGHTLY LIT, AND IS USING LED RETROFIT BULBS. THIS SHOULD EXTEND THE USEFULNESS OF THE LIGHTING FOR A 5-10 YEARS AT LEAST.

THERE ARE NO REAL LIGHTING CONTROLS. THE STATE ENERGY CODE DOES NOT REQUIRE THEM SO LONG AS THE CLIENT LEAVES THE LIGHTING AS-IS. THEY ARE REQUIRED TO ADD IN THE APPROPRIATE VACANCY OR TIME CLOCK CONTROLS FOR ANY LIGHTING THEY ALTER OR REPLACE.

THERE ARE VERY FEW RECEPTACLE OUTLETS. DEPENDING ON THE PREDICTED USES FOR EACH AREA, SOME ADDITIONAL RECEPTACLES MAY BE NEEDED TO BE ADDED IN CERTAIN LOCATIONS. ESPECIALLY NOTE THE OFFICES, WHICH ARE CURRENTLY BEING USED FOR STORAGE.

THERE IS VERY LITTLE FIRE ALARM IN THE BUILDING AND ALMOST NO COMMUNICATIONS/AV. A COMPLETE FIRE ALARM SYSTEM MAY BE TRIGGERED BY A CHANGE IN USE OF THE BUILDING. HOWEVER, IT SHOULD BE COMPLIANT IF THE USE REMAINS AS IS. ALL DESIRED COMMUNICATIONS/AV WILL NEED TO BE ADDED INTO THE BUILDING.

THE BUILDING IS CURRENTLY BEING FED FROM TWO SEPARATE ELECTRICAL SOURCES. IN ESSENCE, THE ELECTRICAL CODE IS TREATING THIS AS TWO SEPARATE BUILDINGS. THIS IS A POTENTIALLY DANGEROUS SITUATION. THERE ARE TWO WAYS TO HANDLE THIS. THE FIRST WAY IS TO REFEED ONE PANEL FROM THE OTHER. THIS WILL ONLY WORK WITH SIGNIFICANT REWORK AND DOLLARS (A NEW FEEDER ACROSS THE ENTIRE BUILDING PLUS WHATEVER ELSE IS NEEDED ON THE UTILITY SIDE OUTSIDE THE BUILDING). THE SECOND OPTION IS THE ONE I SUGGEST. WE ARE ALLOWED BY CODE TO PLACE WARNING LABELS AND A MAP TO ALL SERVICE DISCONNECTS AT EACH PANELBOARD. IN ADDITION TO THIS, I SUGGEST BRINGING A 1/2(1)M CU GREEN GROUND WIRE AND TYING THE TWO GROUND BUSES TOGETHER. THIS WILL ENSURE BOTH PANELS SHARE A COMMON GROUND PATH.

SOME OF THE EXISTING EXTERIOR LIGHTING IS OKAY. SOME SHOULD BE REPLACED. SEE BELOW.

ADDITIONAL NUMBERED RECOMMENDATIONS (SEE SHEETS E-101 AND E-111)

- ① IF THE SITE IS IN THE SCOPE OF THE LEASE (I'M NOT SURE IT IS), I WOULD CONSIDER CHANGING OUT THE FLOOD LIGHTS ON THIS EXTERIOR POLE WITH SOMETHING MORE EFFICIENT THAN INCANDESCENT. ALSO, I WOULD CONSIDER LOOKING AT THE LIGHTING CONTROLS. THEY APPEAR TO BE PHOTOCCELL CONTROLLED. YOU MAY WANT TO CONSIDER GETTING FIXTURES WITH BUILT-IN MOTION SENSORS AS WELL.
- ② SEE RECOMMENDATIONS ABOVE FOR RECEPTACLE OUTLETS WHERE NEEDED. I STRONGLY SUGGEST KEEPING NEW RECEPTACLES IN THE NORTH-WEST WING WIRED TO PANEL 'B' AND THOSE IN THE SOUTH-EAST WING TO PANEL 'A' (THOUGH THERE ISN'T MUCH ROOM LEFT IN PANEL 'A').
- ③ THE LIGHTING IS OKAY IN THESE ROOMS, THOUGH THE CLIENT MAY WANT TO ADD ADDITIONAL LIGHTING DEPENDING ON THE OCCUPANTS OF THE ROOMS. ALSO, ROOM LIGHT SWITCHES COULD CHEAPLY BE REPLACED WITH ROOM VACANCY SENSORS, WHICH WOULD BE A VALUABLE IMPROVEMENT, BUT NOT REQUIRED. IF USED AS OFFICES, COMMUNICATIONS/AV AND ADDITIONAL RECEPTACLES WILL PROBABLY BE NEEDED.
- ④ CLIENT WILL NEED TO COORDINATE WITH THE EXISTING STRUCTURES ON SITE TO GET ANY DESIRED COMM SERVICES TO THE BUILDING. ALSO, IT WOULD BE A GOOD THING TO CHECK WITH THE FIRE MARSHAL, TO ENSURE THE NEW CLIENT USE WON'T TRIGGER THE NEED FOR A COMPLETE FIRE ALARM SYSTEM.
- ⑤ THIS EXISTING EXTERIOR SECURITY LIGHT IS INCANDESCENT AND SHOULD BE REPLACED WITH AN LED TYPE LIGHT WITH A BUILT IN PHOTOCCELL. ALSO, A BUILT IN MOTION SENSOR SHOULD BE CONSIDERED WHERE THE LIGHT IS NOT NEEDED ON ALL NIGHT FOR SECURITY.
- ⑥ THIS LIGHT IS NEW, COMPLETE WITH A MOTION SENSOR. IT WOULD BENEFIT FROM BEING REPLACED, LIKE THE OTHER EXTERIOR LIGHTS, BUT IS NOT CRITICAL. IT COULD BE LEFT ALONE.
- ⑦ PANEL 'B' IS A STINGER LEG SYSTEM. IN ADDITION TO AN ARC FAULT WARNING LABEL, AND A DUAL SERVICE LABEL+MAP, THERE SHOULD BE A STINGER-LEG WARNING LABEL ON THIS PANEL.
- ⑧ PANEL 'A' IS NEARLY FULL. DEPENDING ON HOW MANY RECEPTACLE CIRCUITS WANT TO BE ADDED TO THIS PANEL, A NEW SUB-PANEL MAY BE REQUIRED. SINCE MANY OF THESE CIRCUITS HAVE NOT BEEN TRACED, AND THIS REPORT IS ASSUMING THE POTENTIAL REMOVAL OF THE AC UNITS ON THE ROOF, THERE IS A CHANCE THERE WILL BE FOUND TO BE PLENTY OF SPACE ONCE AN ELECTRICIAN GETS INTO THE PANEL. HOWEVER, IT IS UNKNOWN HOW MANY NEW (IF ANY) RECEPTACLE CIRCUITS OR EQUIPMENT WILL BE NEEDED. I RECOMMEND AN ELECTRICIAN GOES THROUGH AND TRACES OUT ALL ACTIVE CIRCUITS IN THIS PANEL.

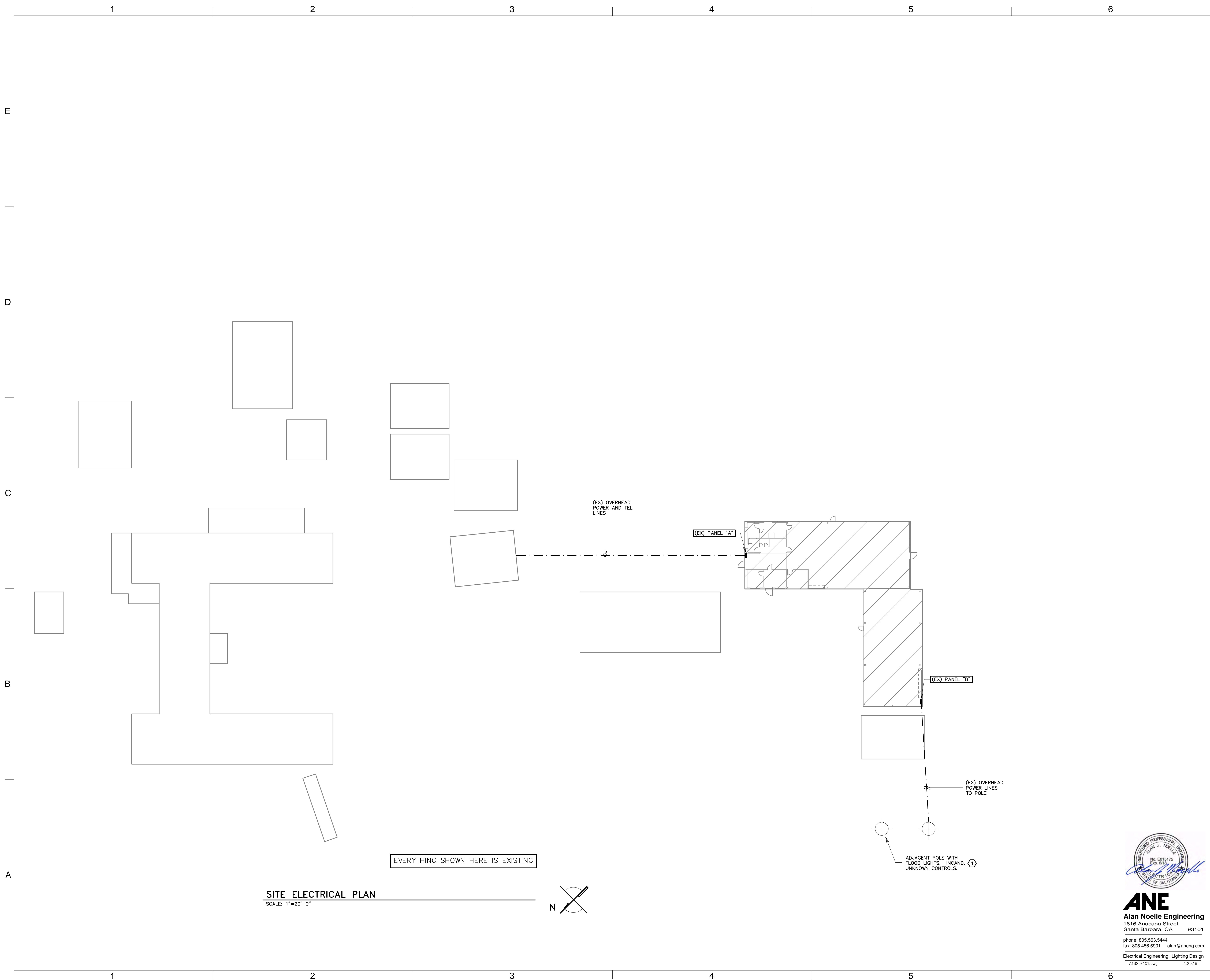


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A1825E100.dwg 4.23.18



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(805) 933-6609 FAX

Consultants:

Architect's Project Number:

2018-108

GSA Program Number:

RQM18024

Project:

**County of Ventura
Growing Works
INFRASTRUCTURE
REPAIR**

1732 South Lewis Road
Camarillo, California 93012

Owner:

**COUNTY OF VENTURA
GSA PROJECTS GROUP**

800 South Victoria Avenue
Ventura, California 93009

Date	Description

REVISIONS

Num	Date	Description

ISSUE RECORD

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Drawn by:

Checked by:

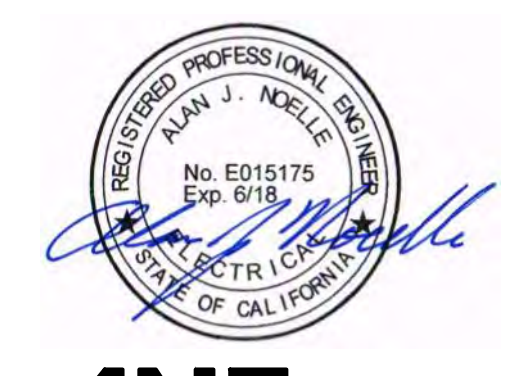
CAD File Name:

Sheet Title:
**ELECTRICAL
SITE PLAN**

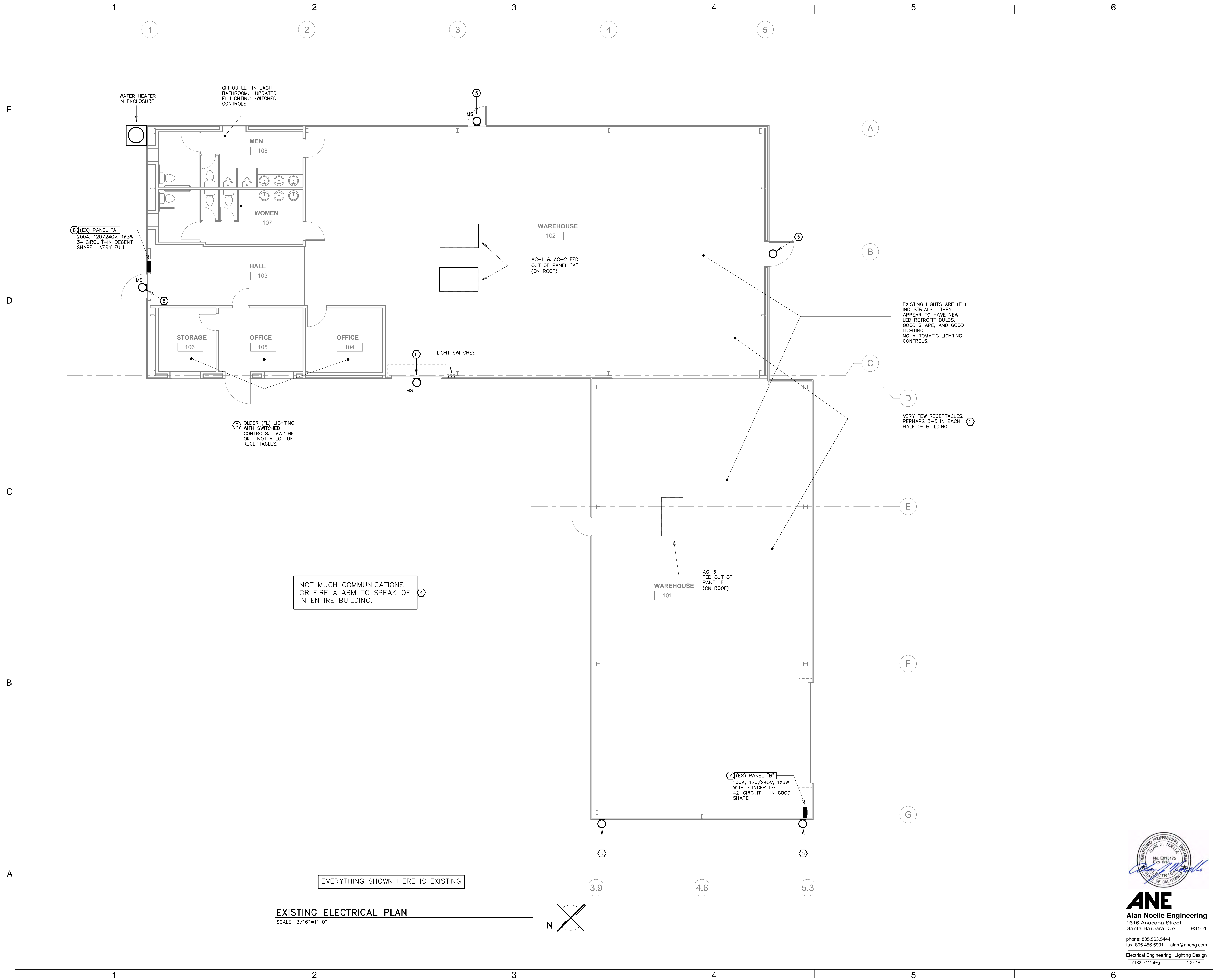
Date: **11 April 2018**

Sheet Number:

E-101
PRELIMINARY



ANE
Alan Noelle Engineering
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Santa Barbara, CA 93101
phone: 805.563.5444
fax: 805.456.5901 alan@aneng.com
Electrical Engineering Lighting Design
A1825E101.dwg 4.23.18



EXISTING ELECTRICAL PLAN
SCALE: 3/16"=1'-0"


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Alan Noelle Engineering
 1616 Anacapa Street
 Santa Barbara, CA 93101
 phone: 805.563.5444
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 Electrical Engineering Lighting Design
A1825E111.dwg 4.23.18

**ANDERSON
KULWIEC
APPLEBY
ARCHITECTS**

ARCHITECTURE
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 (805) 933-0225
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 Checked by: _____
 CAD File Name: _____

Sheet Title:
**ELECTRICAL
 EXISTING PLAN**

Date: **11 April 2018**
 Sheet Number:
E-111
 PRELIMINARY



This narrative accompanies the Growing Works Project Proposition One Grant Application Form requesting a grant of \$268,800 from the Santa Monica Mountains Conservancy Proposition One grant program. The following numbered informational requests are included, taken from the SMMC Revised Grant Guidelines of September, 2017, as well as an additional information section at the end to assist in critiquing the application.

Introduction:

Turning Point Foundation is a Ventura County 501(c)(3) organization. Turing Point's mission is to provide housing, rehabilitation, recovery and support services to adults struggling with or disabled by mental illness to help them overcome systemic barriers and stigma to attain and maintain their highest potential as contributing members of our community.

Growing Works, a collaborative multi-benefit project, combines environmental restoration, natural resource conservation and mental health treatment in a nonprofit wholesale nursery and teaching grounds.

Many governmental agencies and non-governmental organizations have, and continue to, assist in the creation and operations of Growing Works. The County of Ventura, landowner and public health overseer, plays an active role as this project seeks to remedy social and environmental issues currently facing the communities of the region.

Requested Information:

- 1) A detailed scope of work, including a list of specific tasks, a detailed budget, and a timeline for project implementation (including a completion date for each task);

See attached file: Growing Works Budget and Timeline.pdf

- 2) Any preliminary project plans as required;

See attached files: Growing Works - PRELIMINARY PLANS 5-29-2018.pdf, and Growing Works Site Plan.pdf, and Growing Works Garden.pdf

The original executed Application Form was mailed to Rorie Skie, and a copy attached as described in the Sept 2017 Revised Grant Guidelines. The complete application was emailed to grants@smmc.ca.gov and skei@smmc.ca.gov.

3) A detailed description of the need and urgency for the grant;

Growing Works is an innovative, multi-beneficial, nonprofit wholesale native and other drought tolerant plant nursery providing job training and therapy programs to a socioeconomically disadvantaged segment of our community. The project addresses the urgent needs of climate change, drought, homelessness and people with mental illnesses. The health of our cities impacts the health of our natural resources. The health of our natural resources impacts the health of our cities. They are co-dependent. Our cities are facing a homeless and mental health crisis. People are living in the undeveloped lands adjacent to natural water sources, living on the streets, along bikeways, park benches, wherever they can. Our climate is changing rapidly, wildfires are rampant, water supplies are drying up, extreme heat days growing. The two crises have common ground. Making our cities more livable allows a deeper appreciation of the natural environment. Making our cities more environmentally sound by using native and drought tolerant species contributes to the long-term sustainability of the landscape, reducing costs and greenhouse gases. Giving people with mental health issues the chance to get off the rivers, streams and streets and help make the community greener provides a sense of ownership and pride. All of this combined makes the built and natural environments a better place for all.

4) A detailed description of how the project will provide multi-benefit ecosystem, water quality, water supply, and watershed protection and public benefits;

Growing Works provides multiple benefits to the region:

- Benefits to ecosystem by providing education on the use of, and providing a source for, genetically local plants, assisting in the efforts to protect the region's biodiversity. Growing Works will grow and promote planting of milkweed, the one plant used by the Monarch butterfly to lay its eggs, and other wildlife dependent plant species benefitting the regions' native fauna. The interpretive garden will have representative examples of the native biomes of the area, such as riparian, oak savannah, oak woodland, coastal sage, chaparral, vernal pool, and unique plants of the Channel Islands. A section will be devoted to birds, bees and other native pollinators. Cooperative educational programs

with academia as well as other groups will utilize the garden as a teaching and research tool.

- Benefits to water quality by providing training to help secure jobs to those living on the streets and in encampments along streams and rivers, both point source contributors to water quality impairments, and enhanced quality groundwater recharge from treated reclaimed water of nursery irrigation.
- Benefits to water supply by providing education on the use of, and providing a source for, drought tolerant plants. as well as using reclaimed water to propagate and grow the nursery plants.
- Benefits to the watershed by assisting in protecting the biodiversity of the native flora utilizing appropriately sourced native plant seeds and cuttings, and eliminating any plants considered non-native invasive from being distributed through the nursery. Promoting the appropriate plants creates wildlife friendly gardens.
- Benefits to the public by providing all of the above, plus services to the disadvantage communities of homeless and people with mental illness to get experience in the horticulture field. Knowledge of native plants and their care is needed in the region to assist in creating and maintaining wildlife friendly and water-wise urban gardens, as well as habitat restoration. The jobs the disadvantaged community will receive provides an opportunity for independence, the ability to pay rent, and reduce the need for government assistance. The horticultural therapy that will be offered to 100 mentally ill individuals a year at the Growing Works nursery will assist with improving their mental health and by doing so, the health of communities.

5) A detailed description of how the project achieves one or more of the purposes of Proposition 1 as stated in Water Code Section 79732(a);

Growing Works fulfills four purposes of Water Code Section 79732(a) as follows:

1. Protect and increase economic benefits arising from healthy watersheds by making some of the most disadvantaged citizens contributing members of society as environmental stewards.

2. Implement watershed adaption projects in order to reduce the impacts of climate change on California's communities and ecosystems by providing native and other drought tolerant plants that can withstand the periods of extreme heat and drought, thereby reducing

the water needs, reduces dieback which increases wildfire hazard, and provide shade to reduce urban heat sinks.

3. Protect and restore rural and urban watershed health to improve watershed storage capacity, forest health, protection of life and property, stormwater resource management, and greenhouse gas reduction. Water agency estimate that over 50% of potable water is used for outdoor landscaping. Native and drought tolerant plants reduce the need for irrigation.

4. Protect and restore coastal watersheds. Native and drought tolerant plants reduce the need for water resources needed for environmental purposes. Native plants of local genetic characteristics help protect the biodiversity of the watershed. Educating the public about plants, and how to care for them increases stewardship of the natural resources. The Interpretive Garden will be a site for conservation research on the impacts of climate change on native plant communities. The use of common garden experiments, for example, in which various regional conditions are tested for flourishing of plant species, is an important step in understanding the practical role of genetic variability in ecological restoration. Such an approach is consistent with an overall attitude that we believe should be central for restorationists: proactive research and action on climate change.

6) A detailed description of how the project promotes and implements one or more of the objectives of the California Water Action Plan as stated in Section 1.3 of this guideline;

Growing Works promotes and implements the following two California Water Action Plan Objectives:

- Make conservation a California way of life, and
- Manage and prepare for dry periods.

Drought tolerant plants promote water conservation. The region is heavily dependent on imported water. Reducing irrigation use reduces the impact on state water resources. Providing drought tolerant plants assists the community in preparing for those dry periods. The Growing Works programs will provide a teaching grounds for local schools, as well as providing those schools with plant materials for the school grounds.

This furthers one of the three goals of the California Water Action Plan as detailed in the Prop 1 Grant Guidelines of

- More reliable water supplies.

Utilizing treated reclaimed water at the nursery grounds is an efficient use of water resources. Promoting plants that thrive in recycled water reduces the demand for potable water.

7) A detailed description of how the project helps meet the State's greenhouse gas emissions reductions targets, including a quantification of the metric tons of CO₂ or CO₂e removed or avoided, and an explanation of the methodology used to quantify this figure;

Growing Works will reduce greenhouse gas emissions by utilizing solar panels to supply the energy needed for the water treatment systems, and reducing the community consumption of water with native and drought tolerant plants. The community use of water will decrease over time, which reduces the electrical needs of transportation, extraction and treatment. Providing appropriate native and drought tolerant plants, especially trees, reduces the energy needs of more water-thirsty and the mechanical efforts of maintenance, such as mowing grasses and hedge trimming machines.

Providing trees assists in cooling the built environment, reducing the need for electricity.

The activities of Growing Works will be a carbon sink because plants absorb carbon dioxide from the atmosphere as they grow. Providing plants to areas impacted by fire will assist in greenhouse gas reductions by accelerating vegetation growth and minimize soil carbon losses.

The nursery will be covering 5 acres of barren land with approximately 26,000 plants every year to distribute to the community. This reduces greenhouse gas emissions.

The US EPA Greenhouse Gas Equivalencies Calculator (<https://www.epa.gov/energy/greenhouse-gas-equivalencies-calculator>) was used to determine how much greenhouse gas reduction would be gained with the use of the solar power. The solar power panel system will avoid 25,595 pounds of carbon dioxide emissions.

8) A detailed description of how the project promotes and implements other relevant regional and state plans and policies;

This multi-benefit project addresses Health Equity as described in the California Natural Resources Agency *Safeguarding California*. The project serves the socioeconomically disadvantaged communities of the homeless and people with mental illnesses by providing job training, and providing the urban communities with native and other drought tolerant plants to assist in reducing the heat island effect. This project also addresses Water by utilizing

reclaimed water for the nursery operation and promoting drought tolerant landscaping, and Biodiversity by promoting native plants and locally-genetic plants.

Growing Works implements goals and policies of the Ventura County General Plan:

- Goal 1) Promote reclamation and reuse of wastewater for irrigation,
- Goal 2) Promote efficient use of water resources through water conservation
- Policy 1) Landscape plans for discretionary development shall incorporate water conservation measures, including the use of low water landscape plants

9) Indicate whether the project will have matching funds from private, local, or federal sources, and if so, to what extent;

Growing Works has the following matching funds:

County of Ventura	\$235,700
Ventura County Community Foundation	\$ 25,000
Private Donor of Fencing Material	\$ 40,000
Private Donors of Rocks	\$ 5,000
Private Donor of Plants and Planters	\$ 4,200
Amgen Donation of Plants	\$ 1,500
Private Donor of Bench	\$ 600
Private Donors of Cash	<u>\$ 75,135</u>
Total	\$387,135

10) Indicate whether the project will benefit a disadvantaged community;

Growing Works serves the socioeconomically disadvantaged communities of the homeless and people with mental illness by providing jobs at the nursery. 100% of Turning Point Foundation's clients are at the extremely low-income, defined as 30% of HUD Housing Guidelines, or very low-income, defined as less than 50% median income levels. The native and other drought tolerant plants will serve the region's communities that include disadvantaged communities.

According to the CalEnviroScreen 3.0, Growing Works is located in Census Tract 611005600 and has an overall Percentile of 55-60%, a Pollution Burden Percentile of 98, and Population Characteristics Percentile of 27. Growing Works will be servicing people from throughout the region, but the onsite water cleanup will assist the immediate area. Calleguas Creek, a state-listed 303(d) listed impaired water body, could receive enhanced treated water runoff from the

Growing Works Project
Prop 1 Grant Request Submittal
By Turning Point Foundation
August 27, 2018

project, as well as the groundwater aquifer. Growing Works is within approximately 3 miles of a 91-100% rated area.

Growing Works will benefit the local schools through collaborative programs with Cal State University Channel Islands programs of the California Institute for Social Business, the Psychology Department, School of Community Engagement as well as the Biology/Natural Sciences, Nursing, Engineering, and Art departments.

11) Indicate whether the project will use the services of local or state conservation corps;

Growing Works has already worked with the CCC. They have helped cleared land, trimmed trees, assemble benches and moved plants for the nursery and will continue to assist in the nursery's programming component after the nursery is fully operational.

12) A detailed description of any new or innovative technology or practices that will be applied to the project; and

Growing Works is an innovative way to assist disadvantaged members of the community while helping green the built environment and protecting the biodiversity of the surrounding natural lands.

13) A detailed method for monitoring and reporting on the progress and effectiveness of the project during and after project implementation.

Turning Point will report the progress of the water treatment and solar power system during installation and after completion. The mental illness job training, educational outreach and research programs will be documented and provided to SMMC as requested.

14) Additional information:

- Qualifications of Turning Point Foundation:

Turning Point Foundation has fourteen (14) programs operating from eleven (11) sites -- an administration/management office, an emergency homeless shelter, one (1) transitional community of tiny houses for homeless adults, two (2) rehabilitation centers, one (1) supported veterans transitional housing facilities, three (3) supported permanent housing

facilities, one (1) wellness and recovery center, and two (2) mental wellness peer outreach programs, that are each integral to this continuum of care. The organization provides services through this continuum of care to over twelve hundred (1,200) clients each year.

To assist in the Growing Works Project, Turning Point Foundation is fortunate to have the assistance of Dennis Perry and his 47 years of experience in the plant nursery business. Dennis has been instrumental in getting the operations established as well as functioning. Market research will be conducted working with landscapers and retail nurseries and with the assistance of CSUCI's Institute of Social Business to align plant production to demand.

- Maintenance Funding:

Turning Point Foundation has an initial ten-year lease with the County of Ventura for 10 acres of land and a 6,000 sq. ft. warehouse building for nursery operations and Demonstration Gardens, with a lease that can be renewed. Turning Point Foundation also has an annual contract for Growing Works services from Ventura County's Behavioral Health Department.

It is anticipated to take three years from nursery startup in July 2018 until July 2021 for the nursery to become financially sustainable based on plant sales, like the Growing Grounds model in San Luis Obispo that has sales approaching \$300,000 a year.

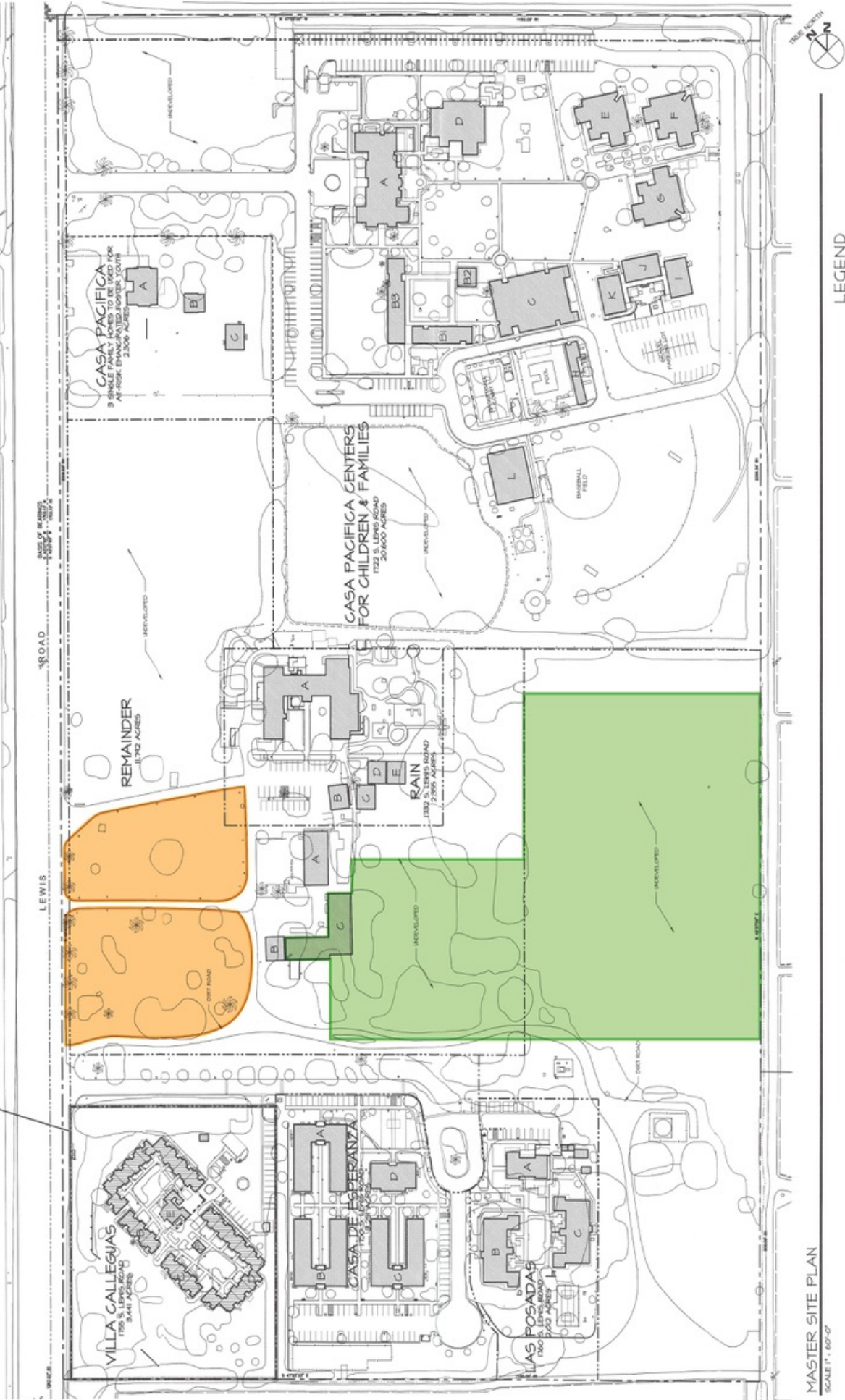
- Outreach:

Turning Point and its collaborators have reached out to the adjacent nonprofit service providers, university, and other businesses and individuals in the community. There is overwhelming support for the project.

- Additional Benefits of Project:

The Interpretive Demonstration Garden provides accessibility and visitor serving amenities to representative examples of local native ecosystems. Interpretive signage will allow self-guided tours and learning opportunities to the public that visit the garden.

CUP-4731
BOUNDARY LINE
NOTE: ENTIRE SITE LOCATED IN
"AE" FLOOD ZONE



MASTER SITE PLAN
SCALE: 1" = 60'-0"

LEGEND
■ DEMCONSTRATION GARDENS
■ PROPOSED DROUGHT TOLERANT PLANT NURSERY

GROWING WORKS
COUNTY OF VENTURA



Demonstration gardens



Garden elements-

- Bird/Richter/Pollinator Gardens
- Channel Island Native Plants
- Chaparral
- Coastal Sage Scrub
- Garden bench
- Labyrinth
- Meadow
- Mixed Native, Exotic Mediterranean & Cultivated Plants
- Oak Scrub
- Oak Woodland
- Owl box
- Riparian
- Vertical pool/annual grass and flowers
- Walkways

Concept sketch by
Steven Schiffer

Google

2:54 PM 3/26/2018